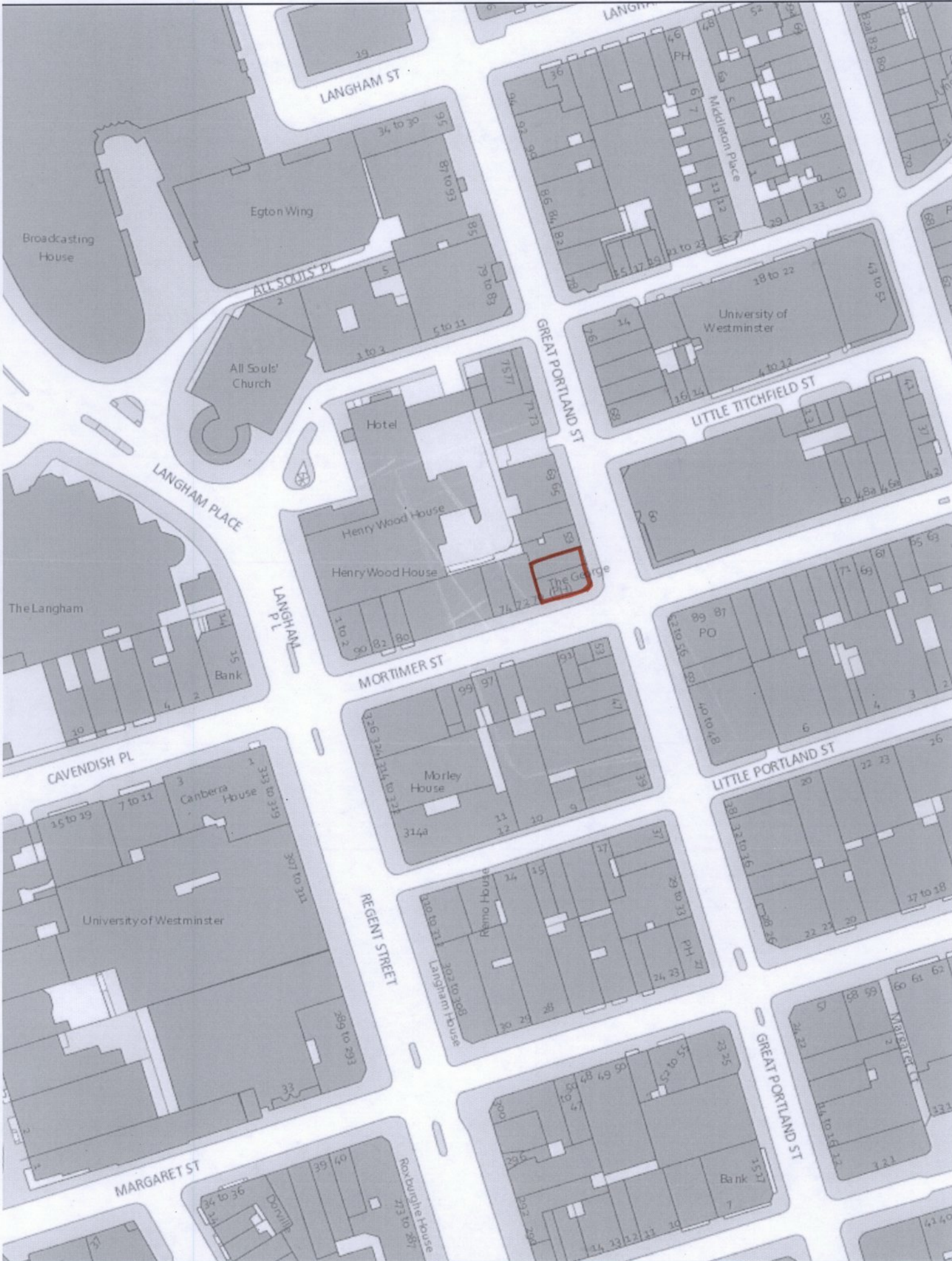


CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 21 July 2015	Classification For General Release	
Report of Director of Planning		Wards involved West End	
Subject of Report	55 and 57 Great Portland Street, London, W1W 7LQ		
Proposal	Amalgamation of 55 and 57 Great Portland Street to provide a dual/alternative use of the basement, ground and first floors as either a public house or a restaurant (Class A4/A3) and use of the second to fourth floors as three flats (Class C3). External alterations including the installation of a new shopfront to No. 57, alterations to No. 55 including modifications to the roof height, the installation of replacement plant within an enclosure at rear first floor level, the creation of a residential terrace at rear second floor level and the installation of a full height kitchen extract duct; internal alterations on all floors. (Corrected description: alterations to roof height at No. 55 rather than No.57).		
Agent	CBRE		
On behalf of	The Crown Estate		
Registered Number	15/01327/FULL 15/01328/LBC	TP / PP No	TP/1609
Date of Application	16.02.2015	Date amended/ completed	16.02.2015
Category of Application	Other		
Historic Building Grade	Unlisted		
Conservation Area	East Marylebone		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Within London Plan Central Activities Zone Within Core Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	11.00-23.00 Monday – Thursday 11.00-24.00 Friday – Saturday 12.00-22.30 Sundays		

1. RECOMMENDATION

1. Grant conditional permission subject to no new substantive issues being raised before the expiry of the consultation period.
2. Grant conditional listed building consent.
3. Agree the reasons for granting listed building consent as set out within Informative 1 of the draft decision letter.





55 AND 57 GREAT PORTLAND STREET, W1

2. SUMMARY

The application site comprises 55 Great Portland Street, a Grade II listed public house (Class A4) and 57 Great Portland Street, an unlisted building comprising a restaurant (Class A3) on the basement and ground floors and a single apartment on the first to fourth floors (Class C3). Planning permission and listed building consent are sought for the amalgamation of the buildings to provide either a public house or restaurant use at basement, ground and first floor levels, with three flats on the second to fourth floors. External alterations include the installation of a new shopfront, and alterations to the roofline at No.55, and the removal of an external fire stair; the replacement of plant at rear first floor level, the installation of a full height kitchen extract duct and the creation of a second floor terrace at No. 55. Internal alterations are proposed to the listed building, including the formation of openings between the buildings on all floors.

The key issues in this case are:

- The potential loss of the existing public house.
- The impact of the proposed works upon the special interest of the listed building.
- The impact of noise from the proposed plant upon the amenity of nearby residents.

Subject to appropriate conditions, the proposals are considered acceptable in land use, transport, design and amenity terms. The applications accord with adopted policies in the Unitary Development Plan (UDP) and City Plan and are therefore recommended for approval.

3. CONSULTATIONS

ENGLISH HERITAGE

Flexible authorisation received.

COUNCIL FOR BRITISH ARCHAEOLOGY

No objection in principle.

ANCIENT MONUMENTS SOCIETY

Any response to be reported verbally.

SOCIETY FOR THE PROTECTION OF ANCIENT BUILDINGS

Any response to be reported verbally.

THE GEORGIAN GROUP

Any response to be reported verbally.

THE VICTORIAN SOCIETY

Any response to be reported verbally.

THE TWENTIETH CENTURY SOCIETY

Any response to be reported verbally.

THE MARYLEBONE ASSOCIATION

Any response to be reported verbally.

ENVIRONMENTAL HEALTH

No objection subject to conditions.

HIGHWAYS PLANNING MANAGER

Objection to lack of off-street car parking and doors opening onto the highway.

CLEANSING MANAGER

No objection subject to conditions.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 42; Total No. of Replies: 2

Two objections received on the following grounds:

- Public houses are not suitable for residential accommodation and the use of the upper floors as flats will ultimately lead to the closure of the pub.
- The amalgamation of the buildings of listed and unlisted buildings would damage the character both of the public house and the surrounding area. No. 55 is a substantially complete example of a public house, entirely readable at every level. The proposed works would diminish and prejudice its character and would do substantial harm to the significance of the George Public House as a heritage asset.
- Any public benefits which could be argued to derive from the scheme are marginal.

4. BACKGROUND INFORMATION**4.1 The Application Site**

The application site comprises two adjoining buildings on the corner of Great Portland Street and Mortimer Street. No. 55, a Grade II listed building, is in use as a public house (Class A4) on basement to fourth floors. No. 57, an unlisted building of merit, contains a restaurant (Class A3) at basement and ground floors and a three bedroom residential unit on the four upper floors.

The site is within the Core CAZ and East Marylebone Conservation Area.

4.2 Relevant History

None relevant

5. THE PROPOSAL

Permission and listed building consent are sought for the amalgamation of 55 and 57 Great Portland Street and for a dual/alternative use of the basement to first floors as either a public house or a restaurant (Class A4/Class A3) and for the use of the second to fourth floors as 3 x 2 bedroom units (Class C3). The flats will be accessed from the ground floor of No. 55.

To facilitate the change in use a number of internal and external alterations are proposed including:

At No. 57:

The replacement of the shopfront to No. 57.

At No. 55:

The alteration of the roof line to match the roof height of No. 57.

The removal of an external fire stair and an area of existing external plant and the installation of replacement plant within a plant enclosure at rear first floor level.

The installation of a full height kitchen extract.

The creation of a residential terrace at rear second floor level.

Internal alterations at all floors including the creation of new openings in the party walls, at all levels; the 'boxing-in' of an existing staircase on the first-fourth floors and the lowering of the basement slab to increase headroom.

6. DETAILED CONSIDERATIONS

6.1 Land Use

The schedule of existing and proposed land uses is set out in the table below:

Land Use	Existing m2 (GEA)	Proposed m2 (GEA)	Change m2 (GEA)
Residential (C3)	159	437	+278
Public House (A4)	687	0	-687
Restaurant (A3)	100	0	-100
Dual A3/A4	0	487	+487

6.1.1 Dual/alternative public house (A4) or restaurant use (A3)

The application involves the amalgamation of the buildings and the creation of either a public house or a restaurant on the basement to first floors. At present the whole of No. 55 has lawful use as a public house, measuring 687m². Whilst much of this space is used as ancillary residential accommodation, rather than public drinking/dining areas, there are no planning controls to prevent the entire building from being used for such purposes.

If the lower floors are converted to restaurant use, this would result in the loss of the public house. Whilst the City Council does not support the loss of public houses, the change of use to a restaurant (Class A3) constitutes permitted development under the Town and Country Planning (Use Classes) Order 1987 (as amended), and does not require planning permission.

However, permission is required for the use of the first floor of No. 57 for restaurant/public house use as this area is currently part of the existing residential unit. The loss of residential floorspace would not normally be permitted by the City Council. However, the scheme involves an overall increase in residential floorspace across the site, of 278m², through the creation of three residential units on the upper floors of No. 55. Consequently, the use of the first floor of No.57 as part of either a restaurant or public house use, is considered acceptable in land use terms.

The existing restaurant on the lower floors of No. 57 measures 100m². The proposal would result in a new restaurant or public house use measuring 487m²; with an overall reduction in "entertainment" floorspace of 300m² across the site. Nevertheless, the proposal creates an entertainment premises within the Core CAZ and is therefore assessed against UDP Policy TACE 9 and S24 of the City Plan which seek to safeguard the amenities of local residents and local environmental quality from the effects of entertainment uses and to safeguard the character and function of the local area. However, given the overall reduction in entertainment floorspace, and the retention of a smaller, but not insubstantial, entertainment use, it is considered that the proposal would maintain the character and function of the area. The impact of the use upon residents' amenities is considered in Section 6.3 below.

6.1.2 Residential use

The proposal would result in the replacement of a 1 x 3 bed apartment with 3 x 2 bed flats. Overall, there would be a net increase of 278m² of new residential floorspace which accords with UDP Policy H3 and S15 of the City Plan. However, this increase is below the 1000m² threshold at which on-site affordable housing would be required.

UDP Policy H5 requires 33% of units in new developments to be family sized. Whilst no family sized units are proposed, the applicant has sought to demonstrate that there are design, conservation and amenity factors which compromise the provision of larger units. Given that part of the application site is a listed building, and as the site is constrained in terms of size and layout, it is considered that, on balance, the provision of 3 x 2 bed units sufficiently optimises the number of units on site. The flats are considered to be well designed, would receive good natural light and exceed the Mayor of London's internal space standards. Conditions are proposed to ensure that acceptable internal noise levels would be maintained for new residents given that the flats would be located directly above the restaurant/public house, which replicates the existing situation at No. 57

One objection has been received on the grounds that public houses are not suitable for residential use and that the creation of new flats above the public house will ultimately lead to its closure. The proposal, with a residential use located above an entertainment use, replicates the existing situation at No. 57. The scheme would, if the existing public house use is retained, rationalise public house functions on the lower floors of the site. Providing sufficient safeguards are in place to ensure that the amenities of future residents are protected, it is not considered that the fact of providing separate residential accommodation on the upper floors would, by itself, prejudice the future of the public house.

Subject to appropriate conditions the proposals are considered acceptable in land use terms.

6.2 Townscape and Design

The Grade II listed public house at No. 55 dates to the mid-19th century. No. 57, is an unlisted building of merit, also dating to the Victorian era.

The main building was listed in 2008 and has clear reasoning for its inclusion in the national list, as follows:

- It has special architectural interest for its characterful, Italianate façade of the 1860s and a ground floor frontage with greater ornamentation than is typical of a mid-C19 public house;
- The building has strong streetscape qualities and the architect, or builder, has utilised the advantage of a corner site;
- The interior has special interest in equal measure for its survival of ornate original features including glasswork, panelling, and painted tiles depicting riders and dogs.

The main conservation consideration is the impact that the proposals will have on the architectural and historical significance of the building. The listing description pays particular focus to the external appearance of the building and its surviving original internal features, particularly at ground floor level.

One of the most significant proposals is the boarding in of the principal stair. The building suffered fire damage in 2006, to the western end, and although the stair survived, it has been heavily repaired in areas. The stair runs from the first floor to the fourth and it is proposed to box it in, at each level, from second to fourth floors. This type of alteration is something that

would usually be resisted in listed building terms. However, as the stair has been poorly repaired its overall significance within the building is moderate. For this reason, the harm caused is considered less than substantial on this occasion and will be weighed against the benefits that the scheme brings overall.

It is proposed to demolish a number of walls throughout the building, from basement to fourth floor level. The main areas of concern are the alterations at ground and first floor. The ground floor of this building is of particular interest, and contributes greatly to the significance of the building. Three new openings proposed at this level, all of which are punctuations for access. The main consideration is the impact of these openings upon the appearance of the ground floor rooms, and the loss of fabric. The two main openings are located within the bar area, and will have a jib door installed. The loss of fabric is relatively minor and the room's appearance will be retained as the existing panelling and dado rail will be replicated on the door. This will therefore have a limited impact and is considered acceptable. The remaining opening is located in a less significant position and is also acceptable.

At first floor level, it is proposed to demolish a number of walls and doors. The main demolition of concern is the spine walls between the main front rooms and an opening adjacent to the chimney breast. When considering the extent of these openings, alongside the proposed retention of both nibs and downstands and the use of a jib door adjacent the chimney breast, these works are considered less than substantial. When weighing the harm caused against the benefits of the reinstatement and repair to surviving features, such as the fire surround to the front room, this is considered, on balance, acceptable.

It is also proposed to demolish a number of walls within the west end of the building at all levels. These are all modern partitions which were installed after the fire damage to this area. As such, these walls are of little interest and their loss is not considered substantial. The remaining demolition on the upper floor levels are considered acceptable, as these floors are of a lesser significance than the ground and first floor, and are minor in nature.

Externally, it is proposed to raise the roof by 300mm in order to align with the height of the adjacent roof at No. 57. Although this is contentious, a large proportion of the roof was damaged in the fire and it appears there is little fabric of interest left. As the appearance of the roof will not significantly be altered, this aspect of the proposals is considered acceptable.

At first floor level, it is proposed to remove existing plant and to replace it with new plant to be installed within enclosures. This would consolidate the plant area, and would be beneficial to its appearance. Of concern, however, is the blocking up of original window openings at the rear to facilitate this. This is only considered acceptable as the existing windows are not original. The existing cill and lintel are to be retained and the rear elevation of the building will be greatly improved.

The scheme also proposes the installation of a replica shopfront to No. 57. Again, this is considered to be of benefit not only to that building but to the setting of the listed public house and to the wider conservation area.

An extensive objection to the applications has been submitted on behalf of Green King Plc who operate the public house at No. 55. The objection is on the grounds that the proposed works will cause substantial harm to the listed building. The objector considers that the proposed internal works would constitute substantial harm as set out in the NPPF, and explained further in the NPPG. They reference a quote from the NPPG which indicates that 'in determining whether works constitute substantial harm, an important consideration would be whether the adverse impact affects a key element of special interest.' However, it is considered that the works constitute less than substantial harm. Alterations are relatively minor in scope and the key areas of special interest of the listed building are not affected by the proposals. Those areas of highest significance within the building are the exterior, and the

ground floor itself and its surviving original architectural features, and these elements are largely protected and enhanced by the works.

The objector raises a number of concerns in relation to internal works. While it is accepted that these do cause some harm, the works are relatively small in scale and do not result in significant loss of historic fabric. The original plan form can still be read. Specific concerns raised by objectors relate to opening up works and loss of plan form and new breaches created within the party wall. Although openings are being created, this will not result in significant loss of fabric and is therefore considered to be acceptable and to constitute less than substantial harm. Taken overall, it is considered that the plan form will remain legible, and downstands and nibs are being retained to show the original layout where openings are being created.

The objectors also raise concerns about the loss of interconnection of the public house with the second and third floors. On balance, the boarding in of the staircase to the upper floors is considered acceptable, as set out above. The second and third floors are considered to be of lesser significance to the special interest of the pub. Although the ground, first and upper floors will be separated, the ground floor will remain in pub/bar use and upper floors in residential use, which are the historic uses of the building and, as such, its significance will be protected.

The objectors suggest there are no public benefits which outweigh harm. However, the NPPG makes clear that public benefits include heritage benefits. The scheme does bring benefits, in allowing the repair and enhancement of the most significant spaces at first and ground floor, which will contribute to their continuing use and viability as a pub/bar. The proposal will also introduce an attractive new shopfront to the neighbouring building, bringing some enhancement to the conservation area and the setting of the listed building.

6.3 Amenity

6.3.1 Impact of proposed use

UDP Policy TACE 9 states that permission will only be granted where the City Council is satisfied that the proposed development has no adverse effect upon residential amenity or local environmental quality as a result of noise, vibration, smells, increased late night activity, increased parking and traffic. In considering proposals for entertainment uses, the Council will have particular regard to the number of customers, opening hours, the arrangements for discharging cooking smells, potential disturbance from noise and vibration disturbance, servicing arrangements and arrangements for the storage and disposal of waste.

The scheme involves a net loss of entertainment floorspace across the two properties, albeit that the upper floors of the existing public house are currently used as public areas. The continued use of the premises as a smaller public house will have no greater impact on the amenity of neighbouring occupiers.

Neither the public house nor the restaurant use would seek to operate later terminal hours than the existing public house. These are 11.00 hours – 23.00 hours Monday-Thurs; 11.00 to 24.00 on Fridays and Saturdays and 12.00-22.30 on Sundays. The incoming restaurant tenant may seek to operate earlier hours to accommodate breakfast service but, subject to a condition preventing customer access before 07.30, this is considered acceptable.

The restaurant would have a maximum of 180 covers. Subject to the imposition of conditions relating to opening hours, the submission of an Operational Management Plan detailing measures to safeguard residents' amenities, and the submission of a Servicing Management Plan, it is not considered that the creation of a larger restaurant premises would have a significant impact on residents' amenities or local environmental quality.

6.3.2 Plant proposals

The application proposes replacement plant, to supply both the residential and restaurant uses, located within an acoustic enclosure at rear first floor level. This aspect of the scheme has been considered in the context of Policies ENV6 and ENV7 of the UDP and S32 of the City Plan. These policies seek to protect nearby occupiers of noise sensitive properties and the area generally from excessive noise and disturbance.

The area has been identified in the Acoustic Report as having background noise levels which are above WHO guideline levels during the daytime and nighttime. To accord with Policy ENV7 of the UDP the noise levels emitted by the plant will have to be 10dB below background at the nearest noise sensitive windows, which have been identified as being 5m from the plant installation.

The Environmental Health officer has reviewed the submitted Acoustic Report and considers that, with the noise attenuation provided by the acoustic enclosure, the plant installation is likely to comply with design noise level criteria.

The proposed plant enclosure will not project beyond the rear elevation of the adjoining building to the west, 70 Mortimer Street, and will not result in any loss of light or increased sense of enclosure or cause a loss of light to neighbouring properties.

The scheme also involves the installation of a full height kitchen extract duct. This is considered to be sufficient to allow cooking odours to be dispersed without affecting the amenities of existing future occupiers.

6.3.3 Overlooking

A new residential terrace would be created at second floor level, at the rear of 55 Great Portland Street. The terrace will look to the rear of the application property. As the closest neighbouring windows at No. 59 Great Portland Street supply a stairwell, it is considered that the more distant windows to this property are at a sufficiently oblique angle to prevent any loss of privacy in views from the terrace.

In conclusion, the proposals are considered to comply with UDP Policies ENV13 and S29 of the City Plan which seek to safeguard the amenities of neighbouring occupiers from the effects of proposed developments.

6.4 Transportation/Servicing

The Highways Planning Manager has objected to the proposal on the grounds that no off-street parking will be provided and that the creation of two additional residential units will result in an increase in demand for on-street car parking, in an area where parking stress levels are already high. Whilst this is regrettable, given the policy objective to provide new housing, and the fact that the area is extremely well served by public transport, it is not considered that permission could reasonably be withheld on these grounds.

In order to ensure that servicing to the extended restaurant premises would not cause obstruction to the public highway, a condition requiring the submission of a full Servicing Management Plan is proposed.

6.5 Economic Considerations

Any economic benefits generated by the scheme are welcome.

6.6 Access

As existing, level access will be provided to the ground floor of the premises.

6.7 Other UDP/Westminster Policy Considerations

6.7.1 Refuse storage

The proposed arrangements for storage of refuse and recyclable materials are considered acceptable and would be secured by condition.

6.8 London Plan

The proposal does not raise strategic issues and does not have significant implications for the London Plan.

6.9 National Policy/Guidance Considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated otherwise.

6.10 Planning Obligations

The application does not trigger a requirement for planning obligations.

6.11 Environmental Assessment including Sustainability and Biodiversity Issues

The scale of the proposed development does not require the submission of an Environmental Impact Assessment. However, an energy and sustainability statement has been submitted which states that the roof and windows will be thermally upgraded and secondary glazing provided at the front of the building. Energy efficient heating, ventilation and boiler systems will be installed. A preliminary assessment indicates that the scheme will achieve a reduction on CO2 emissions of nearly 37% and a BREEAM domestic refurbishment rating of "Very Good". Given the site constraints, this is considered acceptable.

6.12 Other Issues

It has recently come to light that the advertised description of development was ambiguous in that it suggests that the roof height of the unlisted building, 57 Great Portland Street, was to be increased in height rather than the roof of the listed building, No.55. Although the scope of the work is clear from the drawings, for the avoidance of doubt, the planning application has been readvertised and reconsultation letters sent. The applications are recommended for approval subject to no substantive issues being raised as a result of the reconsultation.

6.13 Conclusion

The proposals are considered acceptable in land use, transport, amenity and design and conservation terms and accord with the relevant City Council UDP and City Plan policies. The applications are therefore recommended for conditional approval.

BACKGROUND PAPERS

1. Application forms
2. Letter from English Heritage dated 12 March 2015
3. Letter from the Council for British Archaeology dated 9 April 2015
4. Memorandum from the Cleansing Manager dated 25 February 2015
5. Memorandum from Environmental Health dated 10 March 2015
6. Memorandum from the Highways Planning Manager dated 5 March 2015
7. Letter from occupier of 26 Sutton Road, Barking dated 9 April 2015
8. Letter on behalf of operators of the public house dated 9 April 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT SARA SPURRIER ON 020 7641 3934 OR BY E-MAIL – sspurrier@westminster.gov.uk

DRAFT DECISION LETTER

Address: 55 and 57 Great Portland Street, London, W1W 7LQ

Proposal: Amalgamation of 55 and 57 Great Portland Street to provide a dual/alternative use of the basement, ground and first floors as either a public house or a restaurant (Class A4/A3) and use of the second to fourth floors as three flats (Class C3). External alterations including the installation of a new shopfront to No. 57, alterations to No. 55 including modifications to the roof height, the installation of replacement plant within an enclosure at rear first floor level, the creation of a residential terrace at rear second floor level and the installation of a full height kitchen extract duct; internal alterations on all floors. (Corrected description: alterations to roof height at No. 55 rather than No.57).

Plan Nos: PL109/D; PL110/D; PL111/D; PL112/D; PL13/D; PL114/D; PL115/B; PL140/C; PL170/B; PL171/C; PL172/B; PL173/B; PL001/C; PL209/F; PL210/E; PL211/F; PL212/F; PL213/F; PL214/F; PL215/B; PL240/C; PL270/B; PL271/C; PL272/B; PL273/B; PL500/B; PL501/A; PL502/A; PL503/A; PL504/A; PL505/A; PL506/A; PL507/A; PL508; site location plan;

Case Officer: Billy Pattison

Direct Tel. No. 020 7641 3267

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:
For the avoidance of doubt and in the interests of proper planning.
- 2 You must carry out any building work which can be heard at the boundary of the site only:
 - * between 08.00 and 18.00 Monday to Friday;
 - * between 08.00 and 13.00 on Saturday; and
 - * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:
To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)
- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:
To protect the special architectural or historic interest of this listed building. This is as set out

in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 4 You must hang all doors or gates so that they do not open over or across the road or pavement. (C24AA)

Reason:

In the interests of public safety and to avoid blocking the road as set out in S41 of Westminster's City Plan: Strategic Policies adopted November 2013 and TRANS 2 and TRANS 3 of our Unitary Development Plan that we adopted in January 2007. (R24AC)

- 5 You must provide the waste store shown on drawing PL209 before anyone moves into the property. You must clearly mark it and make it available at all times to everyone using the restaurant. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other purpose. (C14DC)

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

- 6 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 7 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as

L_{AeqTm}, and shall be representative of the plant operating at its maximum.

(3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:

- (a) A schedule of all plant and equipment that formed part of this application;
- (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
- (c) Manufacturer specifications of sound emissions in octave or third octave detail;
- (d) The location of most affected noise sensitive receptor location and the most affected window of it;
- (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
- (f) Measurements of existing LA₉₀, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
- (g) The lowest existing L A₉₀, 15 mins measurement recorded under (f) above;
- (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
- (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

- 8 The design and structure of the development shall be of such a standard that it will protect residents within it from existing external noise so that they are not exposed to levels indoors of more than 35 dB L_{Aeq} 16 hrs daytime and of more than 30 dB L_{Aeq} 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 9 The design and structure of the development shall be of such a standard that it will protect residents within the same building or in adjoining buildings from noise and vibration from the development, so that they are not exposed to noise levels indoors of more than 35 dB L_{Aeq} 16 hrs daytime and of more than 30 dB L_{Aeq} 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 of our Unitary Development Plan that we adopted in January 2007, and

the related Policy Application at section 9.76, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same or adjoining buildings from noise and vibration from elsewhere in the development.

- 10 You must apply to us for approval of detailed drawings (at 1:5 and 1:20) of the following parts of the development :

All new doors, windows, acoustic enclosures and balustrading

You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 11 You must finish the ductwork in a colour to match the material next to it. You must then keep it that colour. (C26FA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 12 You must paint all new balustrading black and keep them that colour. (C26EA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 13 You must only use natural Welsh slate on the roof slopes.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 14 In the event that the basement, ground and first floors are used for restaurant purposes, customers shall not be permitted within the premises before 07:30 and after 23:00 hours on Monday to Thursdays, before 07:30 and after 24:00 (midnight) on Fridays and Saturdays and before 07:30 and after 22:30 on Sundays. (C12AD)

Reason:

To protect the environment of people in neighbouring properties as set out in S24, S29 and

S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, ENV 7 and of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 15 In the event that the basement, ground and first floors are used for public house purposes, customers shall not be permitted within the premises before 11:00 and after 23:00 hours on Monday to Thursdays, before 11:00 and after 24:00 (midnight) on Fridays and Saturdays and before 12:00 and after 22:30 on Sundays. (C12AD)

Reason:

To protect the environment of people in neighbouring properties as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6, ENV 7 and of our Unitary Development Plan that we adopted in January 2007. (R12AC)

- 16 You must not allow more than 180 customers into the basement, ground and first floors at any one time. (C05HA)

Reason:

To make sure that the use will not cause nuisance for people in the area. This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE 9 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R05GB)

- 17 You must apply to us for approval of a management plan to show how you will prevent customers who are leaving the building from causing nuisance for people in the area, including people who live in nearby buildings. You must not start the restaurant use until we have approved what you have sent us. You must then carry out the measures included in the management plan at all times that the restaurant is in use. (C05JB)

Reason:

To make sure that the use will not cause nuisance for people in the area. This is as set out in S24, S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and TACE and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R05GB)

- 18 Prior to the occupation of the basement, ground and first floors for restaurant use, you shall submit and have approved in writing by the Local Planning Authority, a detailed servicing management plan for the premises. All servicing shall be undertaken in accordance with the approved strategy.

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the

National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 Please contact our Environmental Health Service (020 7641 2971) to register your food business and to make sure that all ventilation and other equipment will meet our standards. Under environmental health law we may ask you to carry out other work if your business causes noise, smells or other types of nuisance. (I06AA)
- 3 Please make sure that the lighting is designed so that it does not cause any nuisance for neighbours at night. If a neighbour considers that the lighting is causing them a nuisance, they can ask us to take action to stop the nuisance (under section 102 of the Clean Neighbourhoods and Environment Act 2005). (I39AA)
- 4 The sound insulation in each new unit of a residential conversion should meet the standards set out in the current Building Regulations Part E and associated approved documents. Please contact our District Surveyors' Services if you need more advice. (Phone 020 7641 7240 or 020 7641 7230). (I58AA)
- 5 This development has been identified as potentially liable for payment of the Mayor of London's Community Infrastructure Levy (CIL). Responsibility for paying the levy runs with the ownership of the land, unless another party has assumed liability. We will issue a CIL Liability Notice to the landowner or the party that has assumed liability with a copy to the planning applicant as soon as practicable setting out the estimated CIL charge. If you have not already done so you must submit an **Assumption of Liability Form** to ensure that the CIL liability notice is issued to the correct party. This form is available on the planning portal at <http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil> Further details on the Mayor of London's Community Infrastructure Levy can be found on our website at: <http://www.westminster.gov.uk/services/environment/planning/apply/mayoral-cil/>. **You are reminded that payment of the CIL charge is mandatory and there are strong enforcement powers and penalties for failure to pay.**
- 6 You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk.
- 7 Asbestos is the largest single cause of work-related death. People most at risk are those working in the construction industry who may inadvertently disturb asbestos containing

materials (ACM₂s). Where building work is planned it is essential that building owners or occupiers, who have relevant information about the location of ACM₂s, supply this information to the main contractor (or the co-ordinator if a CDM project) prior to work commencing. For more information, visit the Health and Safety Executive website at www.hse.gov.uk/asbestos/regulations.htm (I80AB)

- 8 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

DRAFT DECISION LETTER

Address: 55 and 57 Great Portland Street, London, W1W 7LQ

Proposal: External alterations including an increase in the roof height; the removal of a rear fire escape and plant installations; the installation of replacement plant within an enclosure at rear first floor level and a full height kitchen extract duct; the creation of a residential terrace at rear second floor level. Internal alterations on all floors including the formation of openings between the building and 57 Great Portland Street.

Plan Nos: PL109/D; PL110/D; PL111/D; PL112/D; PL13/D; PL114/D; PL115/B; PL140/C; PL170/B; PL171/C; PL172/B; PL173/B; PL001/C; PL209/F; PL210/E; PL211/F; PL212/F; PL213/F; PL214/F; PL215/B; PL240/C; PL270/C; PL271/C; PL272/B; PL273/B; PL500/B; PL501/A; PL502/A; PL503/A; PL504/A; PL505/A; PL506/A; PL507/A; PL508; site location plan.

Case Officer: Billy Pattison

Direct Tel. No. 020 7641 3267

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 All new work and improvements inside and outside the building must match existing original adjacent work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the approved drawings or are required in conditions to this permission. (C27AA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 3 All new windows within No. 55 Great Portland Street must be single glazed.

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 4 You must apply to us for approval of detailed drawings (at 1:5 and 1:20) of the following parts of the development :

All new doors, windows, acoustic enclosures and balustrading.

You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these detailed drawings. (C26DB)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 5 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, except those shown on the approved drawings. (C26PA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 6 You must finish the ductwork in a colour to match the material next to it. You must then keep it that colour. (C26FA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the East Marylebone Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26BE)

- 7 You must paint all new balustrading black and keep them that colour. (C26EA)

Reason:

To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

- 8 You must only use natural Welsh slate on the roof slopes.

Reason:



To protect the special architectural or historic interest of this listed building. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 10 (A) and paras 10.129 to 10.146 of our Unitary Development Plan that we adopted in January 2007. (R26ED)

Informative(s):

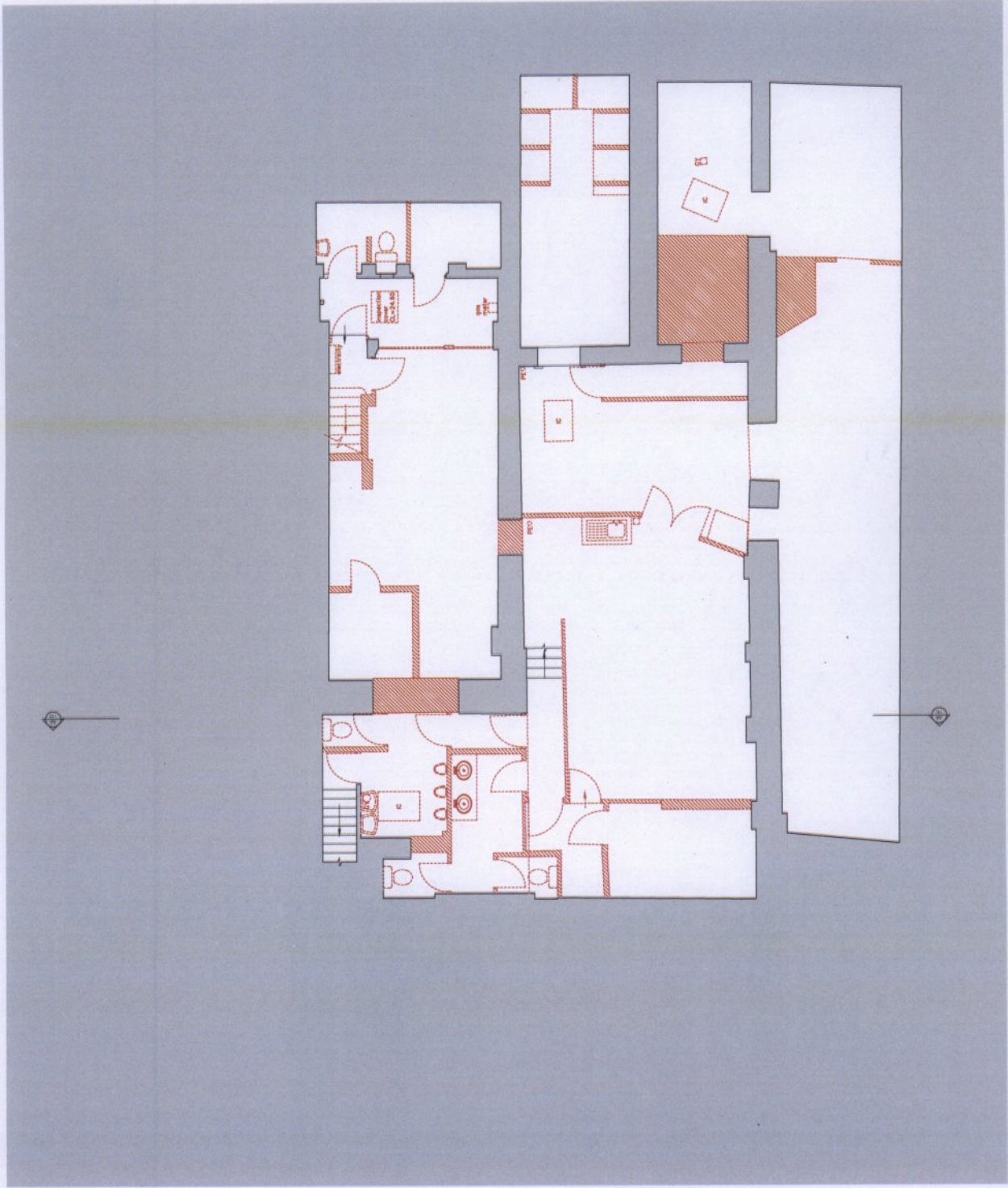
- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.



KEY

-  Existing wall construction
-  Demolition

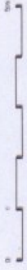
Note: Existing slab to be lowered by 500 mm throughout.



NO.	DATE	DESCRIPTION	BY	CHKD.
1	14/07/05	Revised for planning submission	MR	MR
2	20/12/04	Revise drawings	MR	MR
3	12/12/04	Draw plan by plan	MR	MR
4	20/07/04	Revised for second planning submission	MR	MR
5	02/04/04	Phase 1/2/3/4/5/6/7/8/9/10/11/12/13/14/15/16/17/18/19/20	MR	MR

13030
 55 - 57 Great Portland Street
 Existing basement plan - fabric removal
 1:50 @ A1 / 1:100 @ A3





KEY

- Existing wall construction
- Proposed wall construction

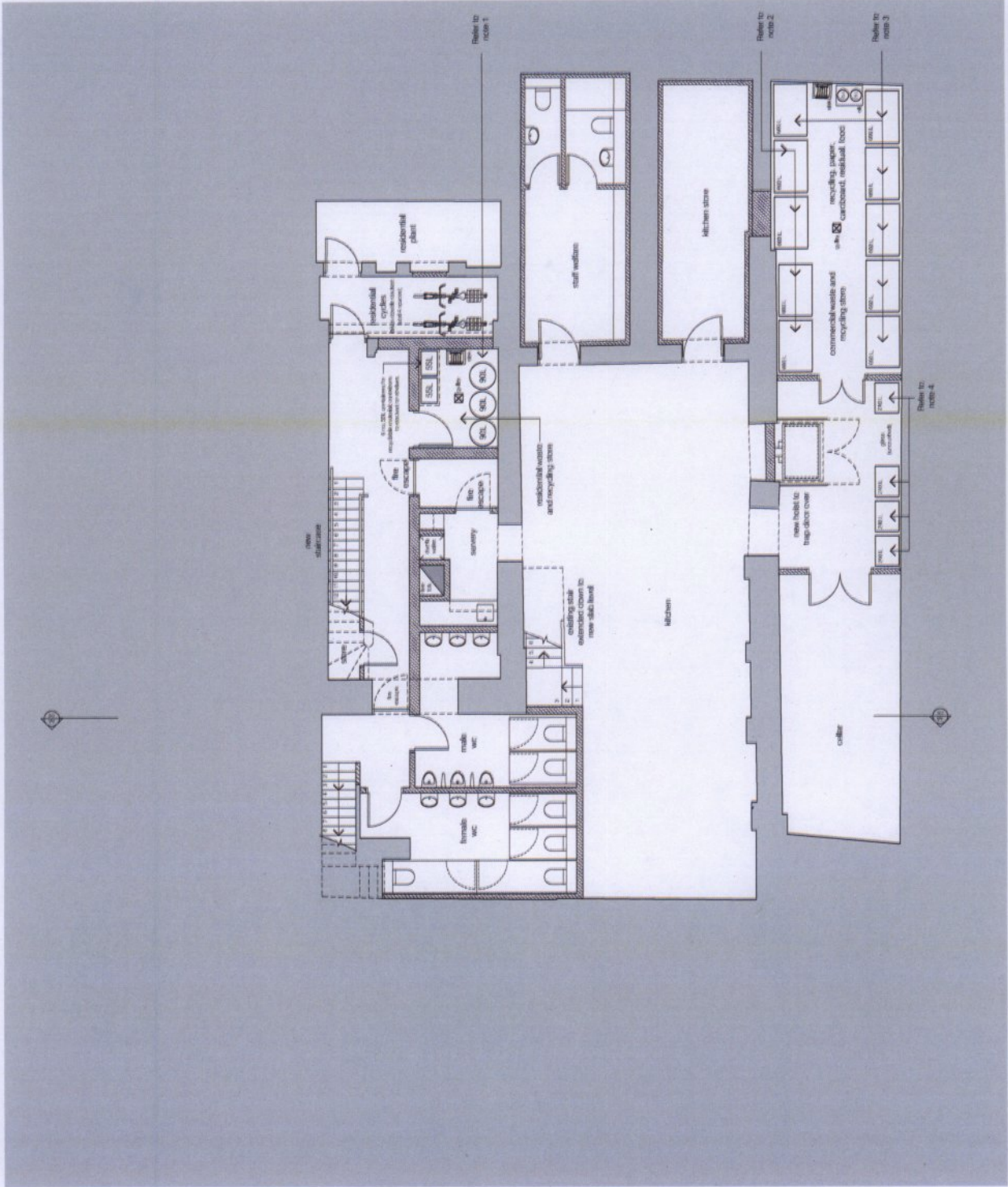
Existing walls to be lowered by 500 mm throughout.

Note 1: 3-in. 30-lb. ductiles for residual waste

Note 2: 4-in. 480-lb. ductiles for recyclable materials

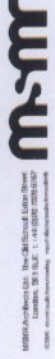
Note 3: 3-in. 680-lb. ductiles for residual waste

Note 4: 4-in. 250-lb. ductiles bars for glass

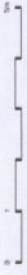


NO.	DESCRIPTION	QTY	UNIT
1	1600 1/4" rebar for existing walls	10	ft
2	1200 1/2" rebar for existing walls	10	ft
3	200 1/4" rebar for existing walls	10	ft
4	100 1/4" rebar for existing walls	10	ft
5	200 1/2" rebar for existing walls	10	ft
6	100 1/2" rebar for existing walls	10	ft
7	100 1/4" rebar for existing walls	10	ft
8	100 1/2" rebar for existing walls	10	ft
9	100 1/4" rebar for existing walls	10	ft
10	100 1/2" rebar for existing walls	10	ft
11	100 1/4" rebar for existing walls	10	ft
12	100 1/2" rebar for existing walls	10	ft
13	100 1/4" rebar for existing walls	10	ft
14	100 1/2" rebar for existing walls	10	ft
15	100 1/4" rebar for existing walls	10	ft
16	100 1/2" rebar for existing walls	10	ft
17	100 1/4" rebar for existing walls	10	ft
18	100 1/2" rebar for existing walls	10	ft
19	100 1/4" rebar for existing walls	10	ft
20	100 1/2" rebar for existing walls	10	ft
21	100 1/4" rebar for existing walls	10	ft
22	100 1/2" rebar for existing walls	10	ft
23	100 1/4" rebar for existing walls	10	ft
24	100 1/2" rebar for existing walls	10	ft
25	100 1/4" rebar for existing walls	10	ft
26	100 1/2" rebar for existing walls	10	ft
27	100 1/4" rebar for existing walls	10	ft
28	100 1/2" rebar for existing walls	10	ft
29	100 1/4" rebar for existing walls	10	ft
30	100 1/2" rebar for existing walls	10	ft
31	100 1/4" rebar for existing walls	10	ft
32	100 1/2" rebar for existing walls	10	ft
33	100 1/4" rebar for existing walls	10	ft
34	100 1/2" rebar for existing walls	10	ft
35	100 1/4" rebar for existing walls	10	ft
36	100 1/2" rebar for existing walls	10	ft
37	100 1/4" rebar for existing walls	10	ft
38	100 1/2" rebar for existing walls	10	ft
39	100 1/4" rebar for existing walls	10	ft
40	100 1/2" rebar for existing walls	10	ft
41	100 1/4" rebar for existing walls	10	ft
42	100 1/2" rebar for existing walls	10	ft
43	100 1/4" rebar for existing walls	10	ft
44	100 1/2" rebar for existing walls	10	ft
45	100 1/4" rebar for existing walls	10	ft
46	100 1/2" rebar for existing walls	10	ft
47	100 1/4" rebar for existing walls	10	ft
48	100 1/2" rebar for existing walls	10	ft
49	100 1/4" rebar for existing walls	10	ft
50	100 1/2" rebar for existing walls	10	ft
51	100 1/4" rebar for existing walls	10	ft
52	100 1/2" rebar for existing walls	10	ft
53	100 1/4" rebar for existing walls	10	ft
54	100 1/2" rebar for existing walls	10	ft
55	100 1/4" rebar for existing walls	10	ft
56	100 1/2" rebar for existing walls	10	ft
57	100 1/4" rebar for existing walls	10	ft
58	100 1/2" rebar for existing walls	10	ft
59	100 1/4" rebar for existing walls	10	ft
60	100 1/2" rebar for existing walls	10	ft
61	100 1/4" rebar for existing walls	10	ft
62	100 1/2" rebar for existing walls	10	ft
63	100 1/4" rebar for existing walls	10	ft
64	100 1/2" rebar for existing walls	10	ft
65	100 1/4" rebar for existing walls	10	ft
66	100 1/2" rebar for existing walls	10	ft
67	100 1/4" rebar for existing walls	10	ft
68	100 1/2" rebar for existing walls	10	ft
69	100 1/4" rebar for existing walls	10	ft
70	100 1/2" rebar for existing walls	10	ft
71	100 1/4" rebar for existing walls	10	ft
72	100 1/2" rebar for existing walls	10	ft
73	100 1/4" rebar for existing walls	10	ft
74	100 1/2" rebar for existing walls	10	ft
75	100 1/4" rebar for existing walls	10	ft
76	100 1/2" rebar for existing walls	10	ft
77	100 1/4" rebar for existing walls	10	ft
78	100 1/2" rebar for existing walls	10	ft
79	100 1/4" rebar for existing walls	10	ft
80	100 1/2" rebar for existing walls	10	ft
81	100 1/4" rebar for existing walls	10	ft
82	100 1/2" rebar for existing walls	10	ft
83	100 1/4" rebar for existing walls	10	ft
84	100 1/2" rebar for existing walls	10	ft
85	100 1/4" rebar for existing walls	10	ft
86	100 1/2" rebar for existing walls	10	ft
87	100 1/4" rebar for existing walls	10	ft
88	100 1/2" rebar for existing walls	10	ft
89	100 1/4" rebar for existing walls	10	ft
90	100 1/2" rebar for existing walls	10	ft
91	100 1/4" rebar for existing walls	10	ft
92	100 1/2" rebar for existing walls	10	ft
93	100 1/4" rebar for existing walls	10	ft
94	100 1/2" rebar for existing walls	10	ft
95	100 1/4" rebar for existing walls	10	ft
96	100 1/2" rebar for existing walls	10	ft
97	100 1/4" rebar for existing walls	10	ft
98	100 1/2" rebar for existing walls	10	ft
99	100 1/4" rebar for existing walls	10	ft
100	100 1/2" rebar for existing walls	10	ft



130030
 55-57 Great Portland Street
 Proposed basement plan
 1:50 @ A1 / 1:100 @ A3



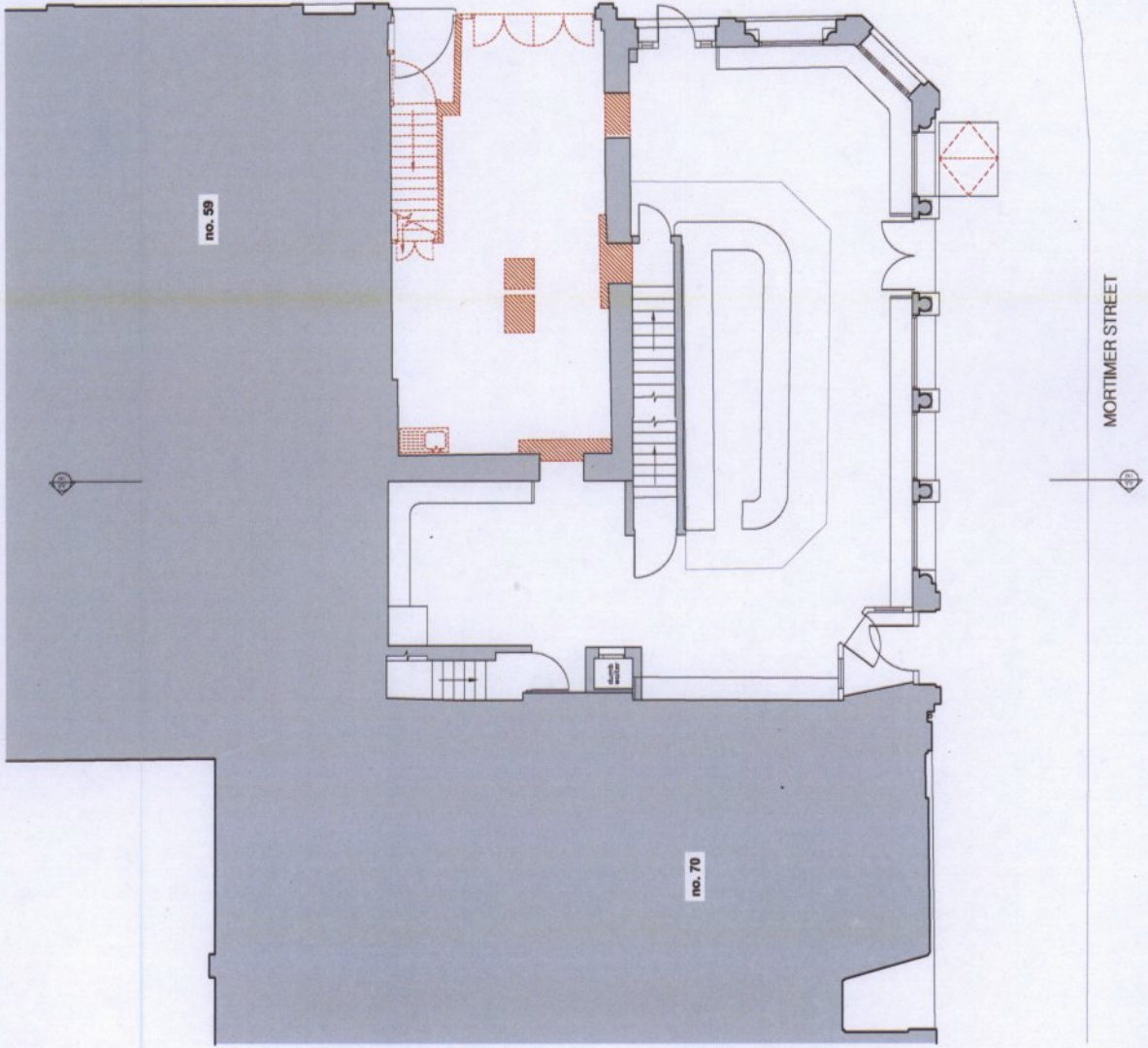
Proposed basement floor plan



KEY

-  Existing wall construction
-  Demolition

GREAT PORTLAND STREET

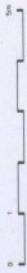


D	16.05.14	Revised for planning submission	Dr	Dr
C	22.03.14	Planning stage	Dr	Dr
B	12.03.14	Draft planning stage	Dr	Dr
A	28.02.14	Revised for second pre-app consultation	Dr	Dr
-	02.04.14	Pre-app consultation submission	Dr	Dr
REV	DATE	DESCRIPTION	BY	CHECKED



130030

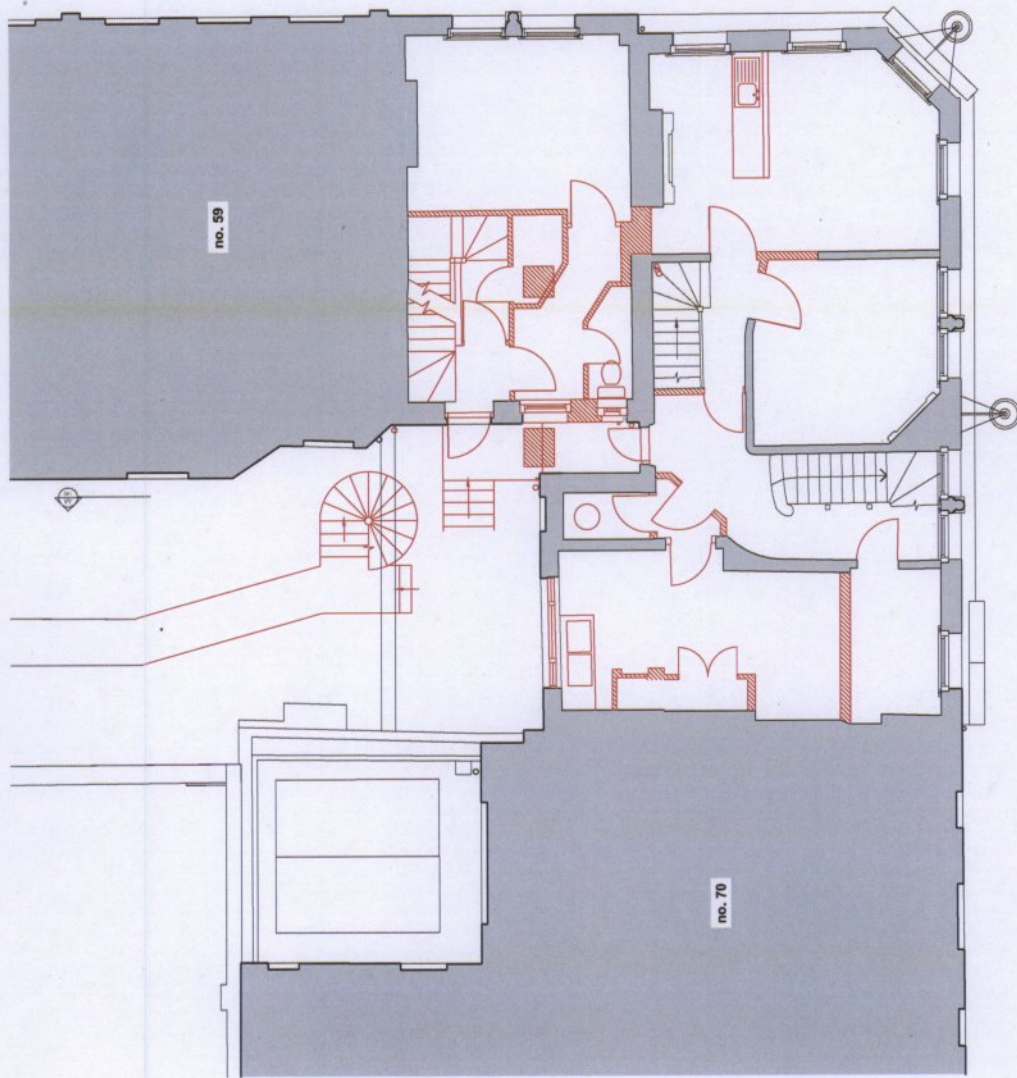
PL 110 D 55 - 57 Great Portland Street
 Existing ground floor plan - fabric removal
 1:50 @ A1 / 1:100 @ A3





KEY

-  Existing wall construction
-  Demolition



NO.	DATE	DESCRIPTION	BY	CHK.
D	14.01.15	Revised for planning submission	JR	JR
C	22.02.14	Planning issue	JR	JR
B	12.02.14	Draft planning issue	JR	JR
A	26.07.14	Revised for second on-site consultation	JR	JR
-	02.04.14	Pre-submission consultation issue	SPK	JR
			SPK	JR
			JK	JR

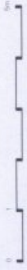
13030
 55 - 57 Great Portland Street

PL111D
 Existing first floor plan - fabric removal

1:50 @ A1 / 1:100 @ A3

MSM Architects Ltd, The Mill School Lane, Broomfield, Essex, SS16 5LH
 0206 2004400
 www.msmarchitects.com



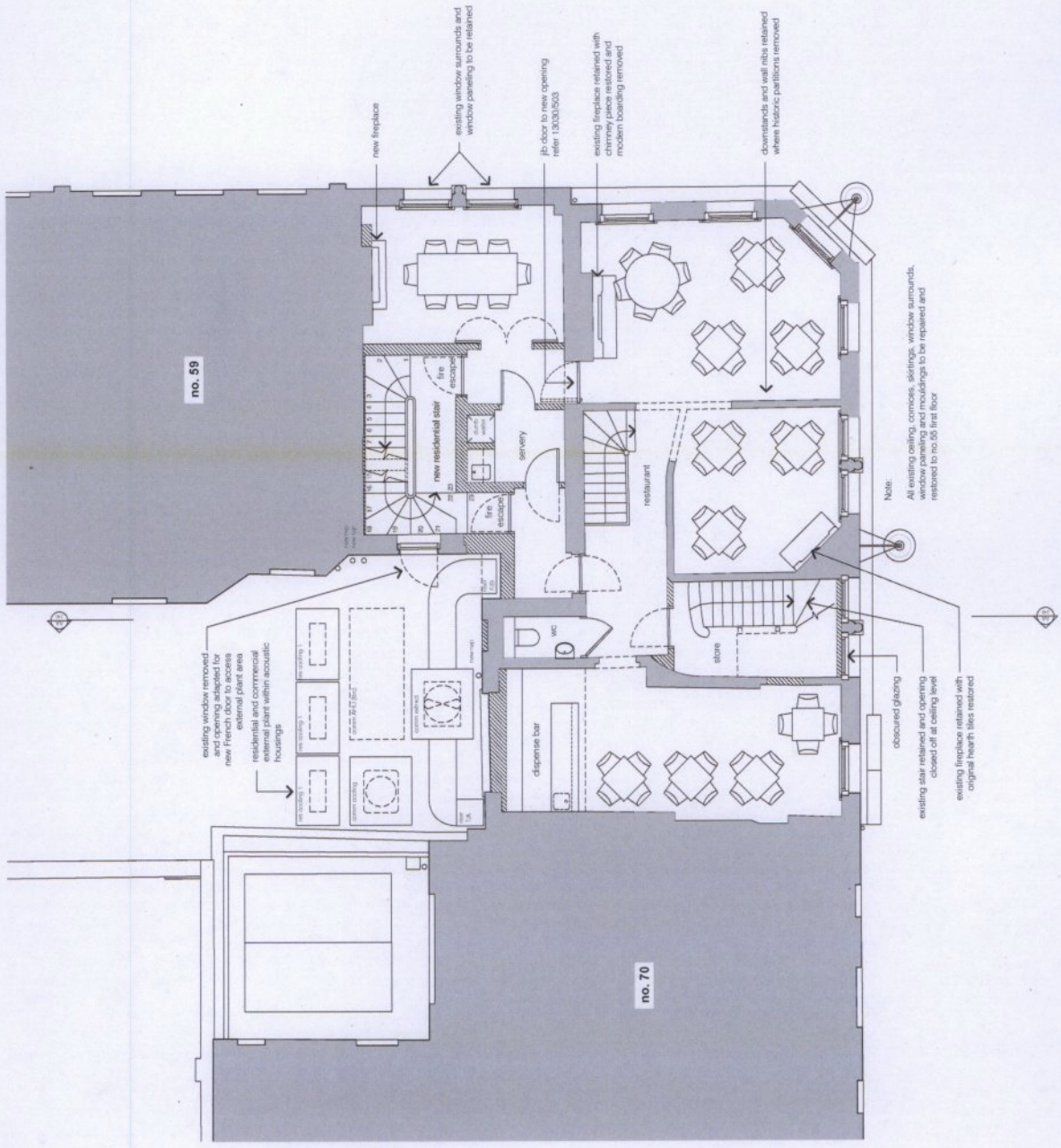


KEY

- Existing wall construction
- Proposed wall construction

Note:

- Windows to front facade retained and refurbished including re-glazing in single acoustic glass.
- Windows to rear replaced with painted timber, single acoustic glazed sliding sashes.



F	20.03.15	Planning ref. Single glazing to rear windows noted	Dr	Dr
E	20.03.15	Noted for planning submission	Dr	Dr
D	20.03.14	Planning issue	Dr	Dr
C	02.03.14	Drat planning issue	Dr	Dr
B	08.11.14	Drat planning issue	Dr	Dr
A	28.07.14	Noted for second pre-app consultation	Dr	Dr
	04.06.14	Pre-application consultation issues	Dr	Dr
			Dr	Dr
			Dr	Dr

13030
 55 - 57 Great Portland Street
 Proposed first floor plan
 1:50 @ A1 / 1:100 @ A3



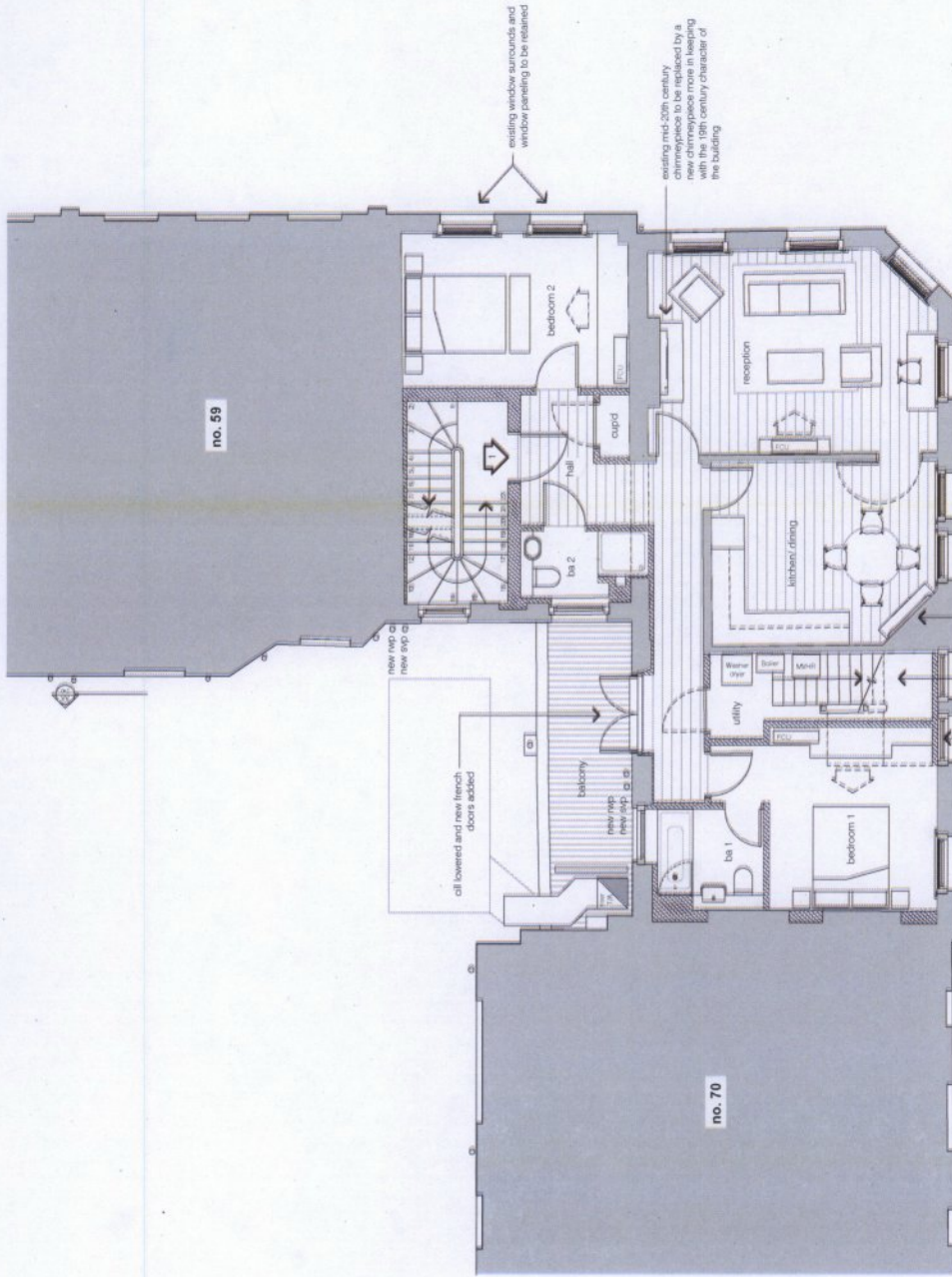


KEY

- Existing wall construction
- Proposed wall construction

Note:

Windows to front facades retained and refurbished including re-glazing in single acoustic glass.
 Secondary glazing fitted internally.
 Windows to rear replaced with painted timber single acoustic glazed sliding sashes.

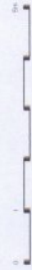


Note:
 All existing ceiling and cornice retained white, lowered ceiling void.
 New lowered ceiling and cornices to match existing.
 All sashings, window surrounds, window panelling and mouldings to be retained and refurbished in keeping with the historical significance to the listed status of no. 55 (reception and kitchen/dining).
 New secondary glazing to all No. 55 & 57 second floor windows to Great Portland Street and Moulmer Street facades.

no.	date	description	sheet	project
F	20.03.15	Planning etc. Single plans to show windows need	PL 2	PL
E	18.03.15	Proposed floor plan for planning submission	PL 1	PL
C	25.02.14	Final floor plan	PL 1	PL
B	03.01.14	Final floor plan	PL 1	PL
A	28.07.13	Revised floor plan for planning consultation	PL 1	PL
-	03.04.13	Pre-application consultation notes	PL 1	PL

13030
 55 - 57 Great Portland Street
 Proposed second floor plan
 1:50 @ A1 / 1:100 @ A3



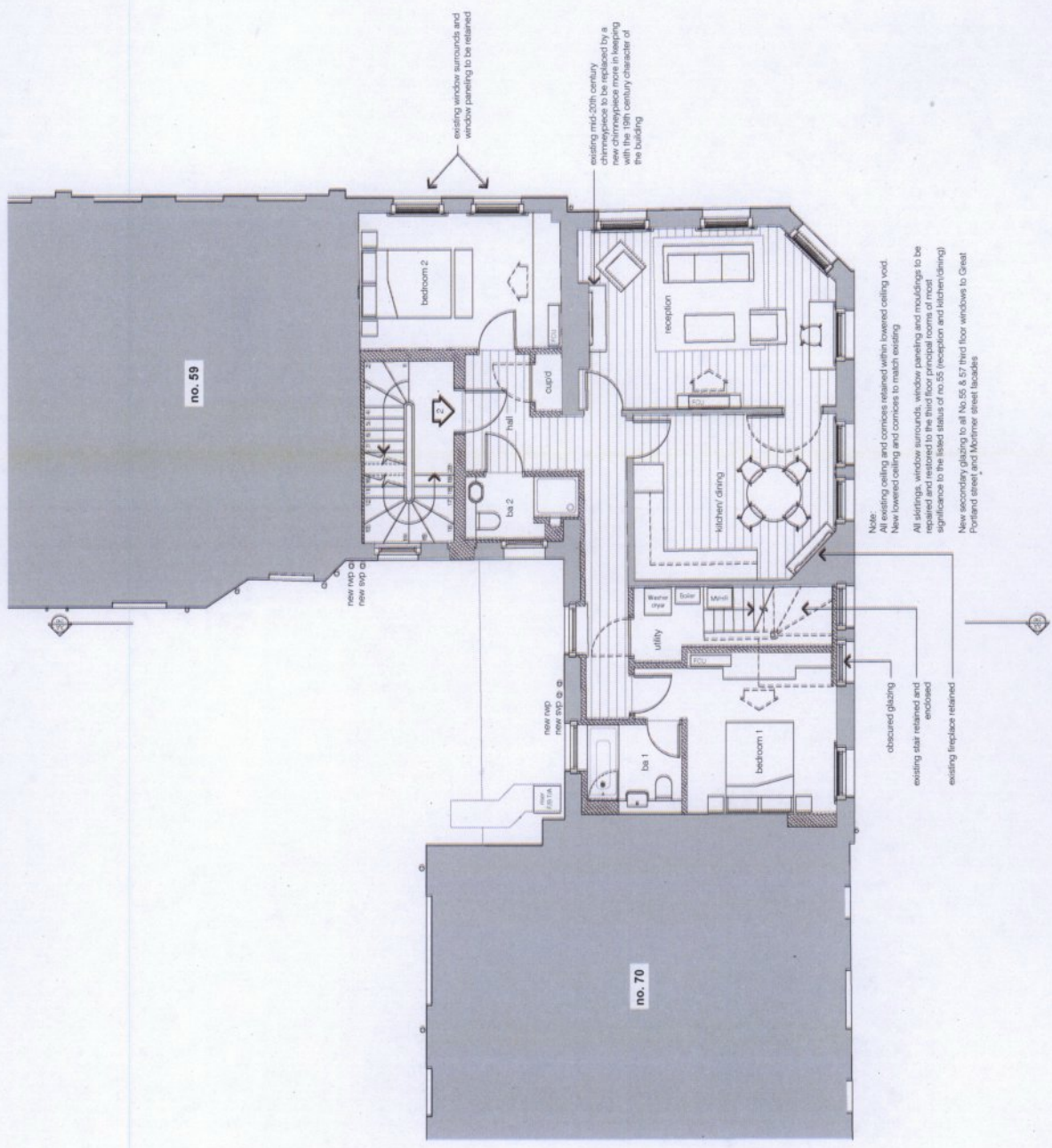


KEY

- Existing wall construction
- Proposed wall construction

Note

Windows to front facade retained and refurbished including re-glazing in single acoustic glass.
 Secondary glazing fitted internally.
 Windows to rear replaced with painted timber, single acoustic glazed sliding sashes.



Note
 Existing ceiling and cornice retained within lowered ceiling void.
 New lowered ceiling and cornice to match existing.
 All skirtings, window surrounds, window panelling and mouldings to be repaired and restored to the third floor principal rooms of most significance to the listed status of no.55 (reception and tubercular dining).
 New secondary glazing to all No.55 & 57 third floor windows to Great Portland street and Mortimer street facades.

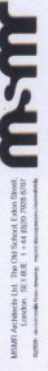
obscured glazing
 existing stair retained and enclosed
 existing fireplace retained

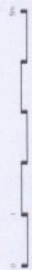
existing window surrounds and window panelling to be retained

existing mid-20th century chimneypiece to be replaced by a new chimneypiece more in keeping with the early 20th century character of the building

F	20.03.15	Planning (w/ single glazing to rear windows void)	PL
E	20.07.15	Resistor planning submission	PL
D	20.07.15	Approved	PL
C	22.12.14	Drawn	PL
B	28.11.14	Draw panelling issue	PL
A	20.07.14	Revised for second planning consultation	PL
	04.03.14	Pre-application consultation issue	PL/A
			PL/A

13030
 55 - 57 Great Portland Street
 Proposed third floor plan
 1:50 @ A1 / 1:100 @ A3





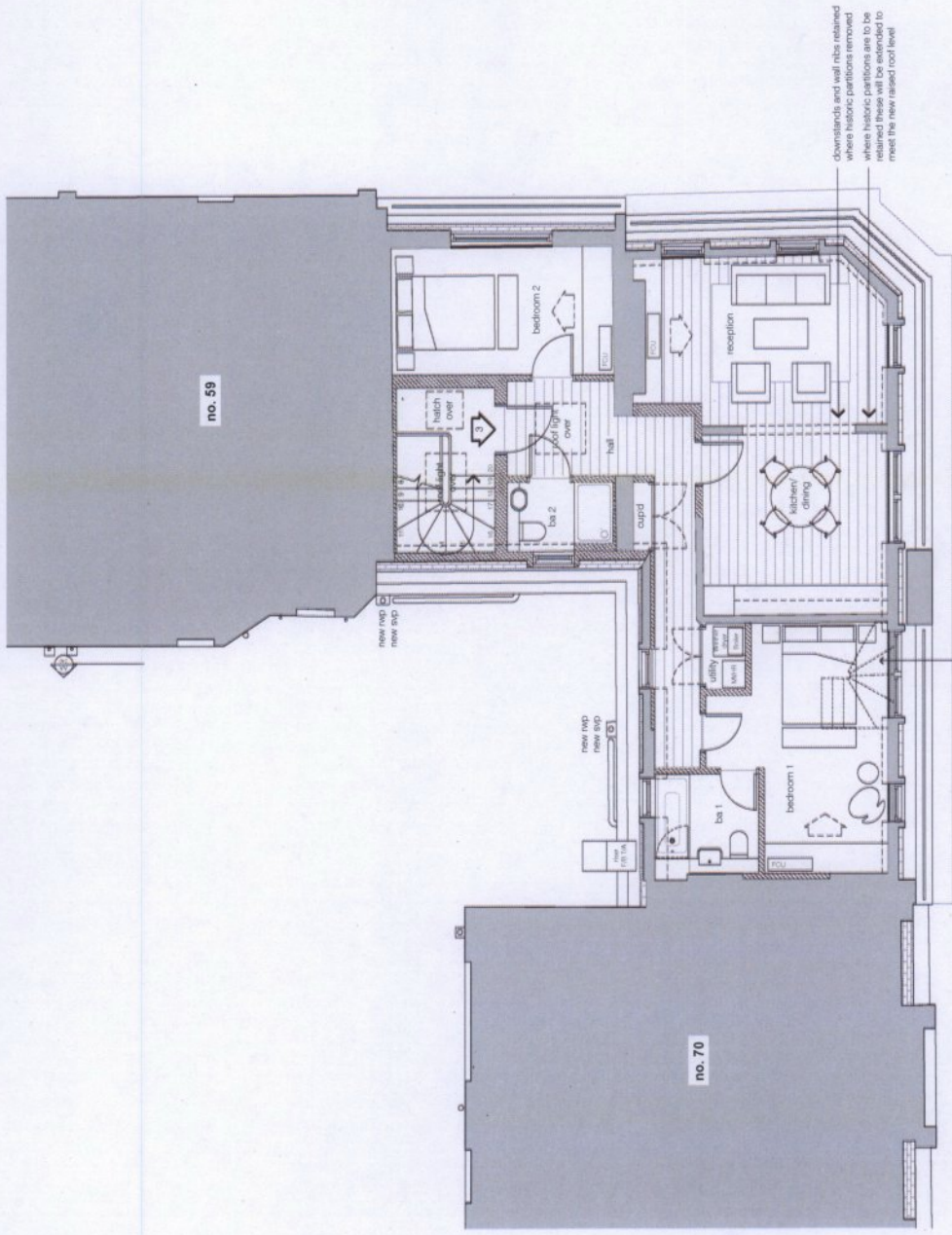
KEY

- Existing wall construction
- Proposed wall construction

Note:

Windows to front facades retained and refurbished including existing single casement windows. In some cases investigation, the windows are found to incapable of refurbishment they will be replaced with new painted timber, sliding sash, single glazed windows.

Windows to rear replaced with painted timber, single acoustic glazed sliding sashes.



Note:

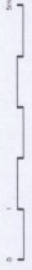
All skirtings and mouldings to be repaired and restored to the fourth floor finish level in accordance to the listed status of no.55 (reception and kitchen/dining)

New secondary glazing to all No.55 & 57 fourth floor windows to Great Portland Street and Mortimer Street facades

Ref	Description	Rev	Date
F	36.03.15	Planning No. Single glazing to rear windows submit	24/03/15
E	16.01.15	Revised for planning submission	16/01/15
D	22.02.14	Planning issue	22/02/14
C	12.02.14	Drawn planning issue	12/02/14
B	19.11.14	Drawn planning issue	19/11/14
A	26.07.14	Revised for second pre-app consultation	26/07/14
-	04.04.14	Pre-application consultation issue	04/04/14
		Issue	28/03/14

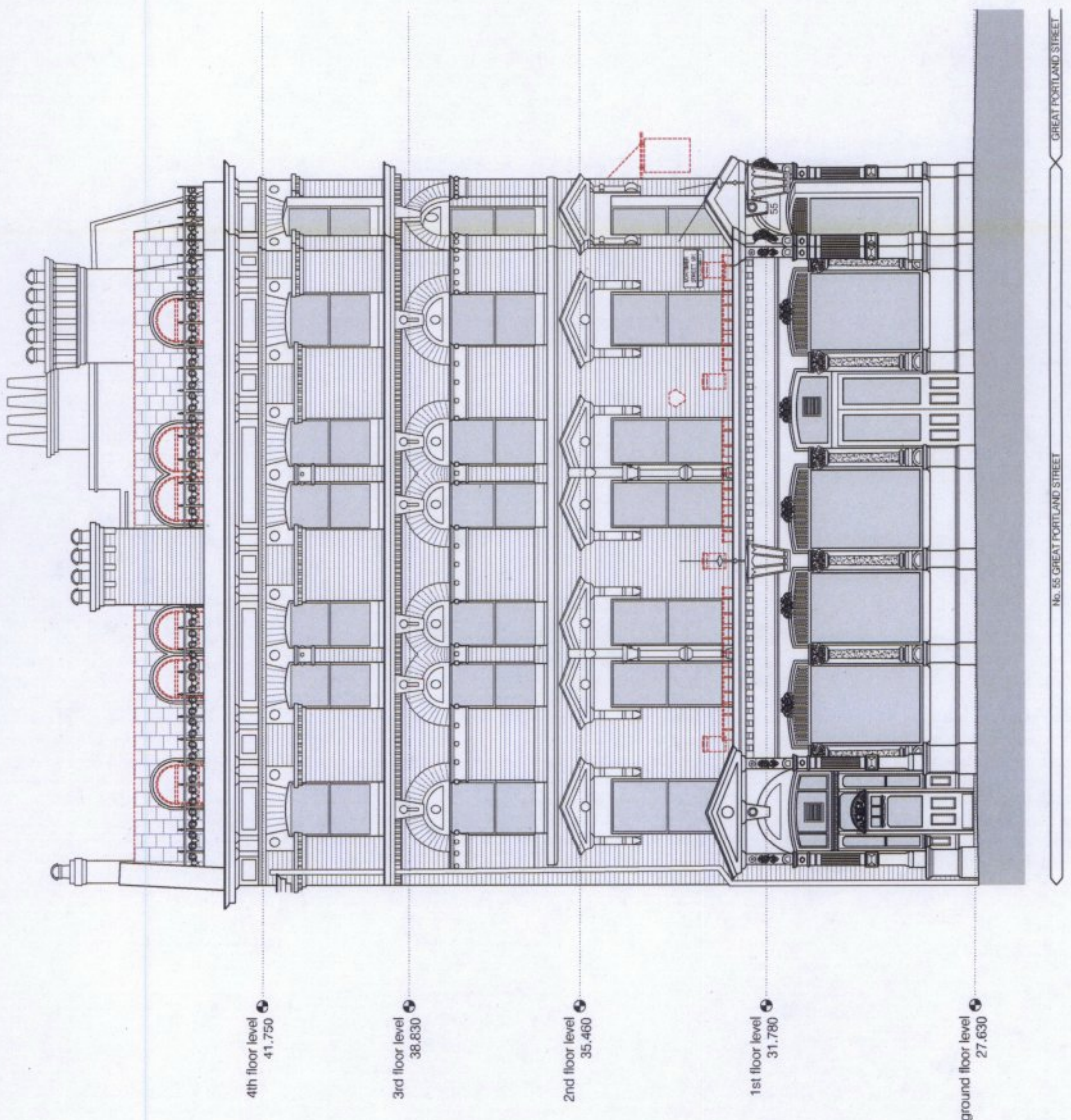
130300
 55 - 57 Great Portland Street
 GA Proposed Plan - Fourth Floor
 1:50 @ A1 / 1:100 @ A3





KEY
 Fabric removal

GENERAL NOTES
 • All roof finishes to be removed for replacement



Rev	Date	Description	By	Chk
B	16.02.15	Revised for planning submission	JR	JD
A	22.12.14	Planning issue	JR	JD
-	12.12.14	Cost planning issue	JR	JD
		Approved	JR	JD
Drawn				
Scale				
Proj No.	130030			

PL 170 B
 55 - 57 Great Portland Street
 Existing Mortimer St from elev - fabric removal
 1:50 @ A1 / 1:100 @ A3

MSM Architects Ltd, No 216-6 Road, Epsom, Surrey, London, Surrey, UK. T: +44 (0)20 7091 9197
 © 2015. All rights reserved. www.msmarchitects.com



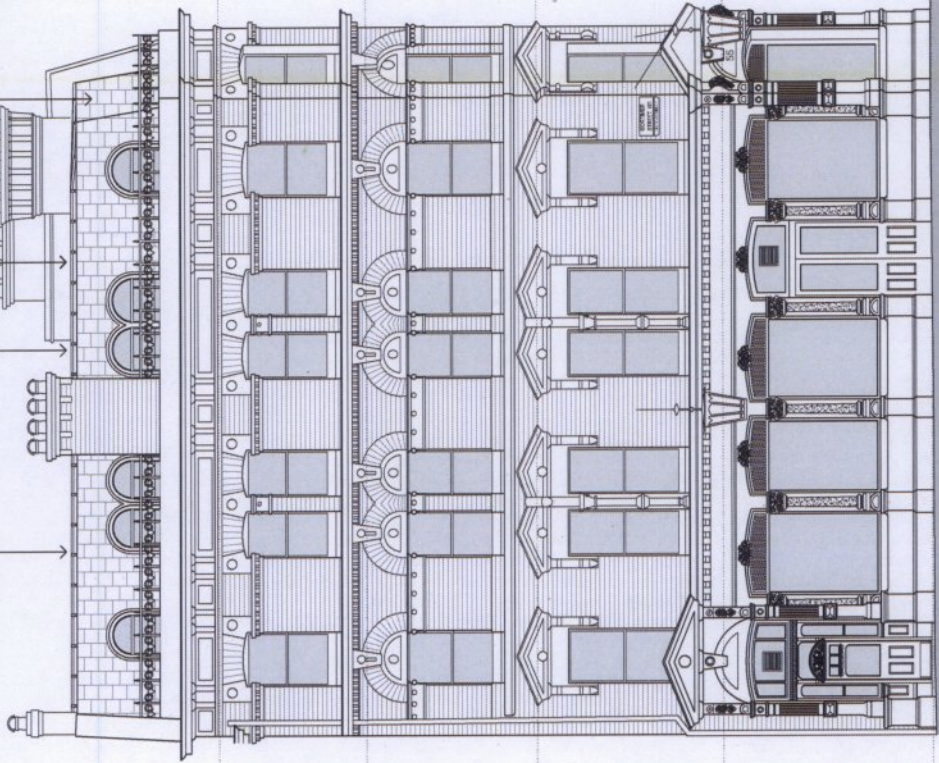
Existing front elevation to Mortimer Street - fabric removal

0 1 2m

Note:

Windows to front facade retained and refurbished including re-glazing in single acoustic glass. Secondary glazing fitted to rear. All existing windows to be replaced with new painted timber, sliding-sash, single glazed windows.

no.55 roof raised to match height of no. 57
 new lead roof at raised level
 existing finishes replaced with natural Welsh slate



4th floor level 41.750
 3rd floor level 38.630
 2nd floor level 35.460
 1st floor level 31.780
 ground floor level 27.630

NO. 55 GREAT PORTLAND STREET GREAT PORTLAND STREET

R	14/07/15	Revised for planning submission	Jr	B
A	20/02/14	Planning issue	Jr	B
-	12/02/14	Cost planning issue	Jr	B
SS	08/05/13	Structural	SS	Structural
DRP No.	130090		DRP No.	130090

PL 270 B
 55 - 57 Great Portland Street
 Proposed Mortimer Street front elevation
 1:50 @ A1 / 1:100 @ A3

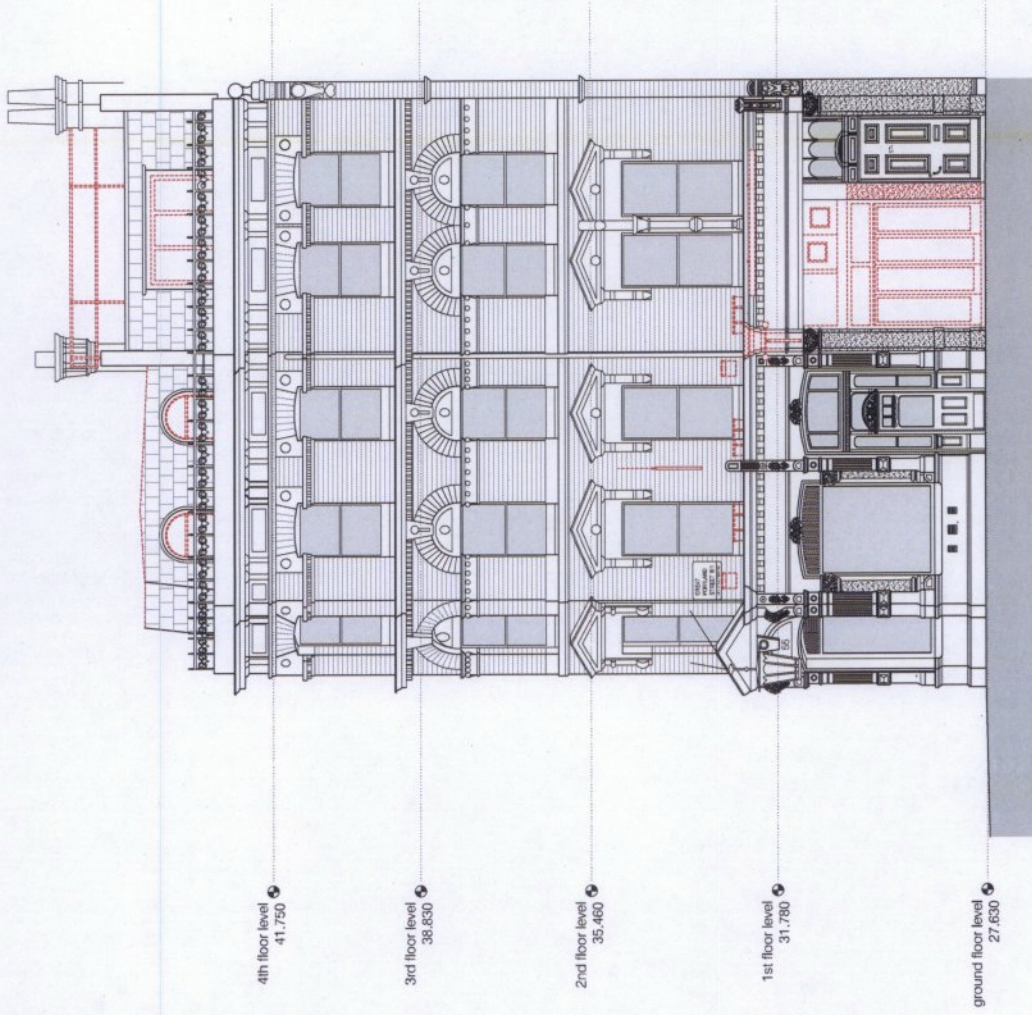
m+m
 M&M Architects Ltd, The Old Church, 6-8, St. Andrew Street, London, EC4A 3DF, T: +44 (0)20 7593 6977
 ©2008 m+m architects ltd. www.m+m-architects.com

Proposed front elevation to Mortimer Street



GENERAL NOTES

- All roof finishes to be removed for replacement



NO.	DATE	DESCRIPTION	BY	CHKD.
C	16.07.15	Revised for planning submission	JR	JD
B	29.12.14	Planning issue	JR	JD
A	12.12.14	Draw planning issue	JR	JD
-	02.04.14	Finalisation construction issue	SH	JB

130390

PL 171 C 55 - 57 Great Portland Street
 Ex. Great Portland St elevation - fabric removal
 1:50 @ A17 1:100 @ A3

M&M Architects Ltd, 110, Old Kent Road, London, SE1 6AE, T: +44 (0)20 7099 6100
 ©2008 All rights reserved. www.mmmarchitects.co.uk

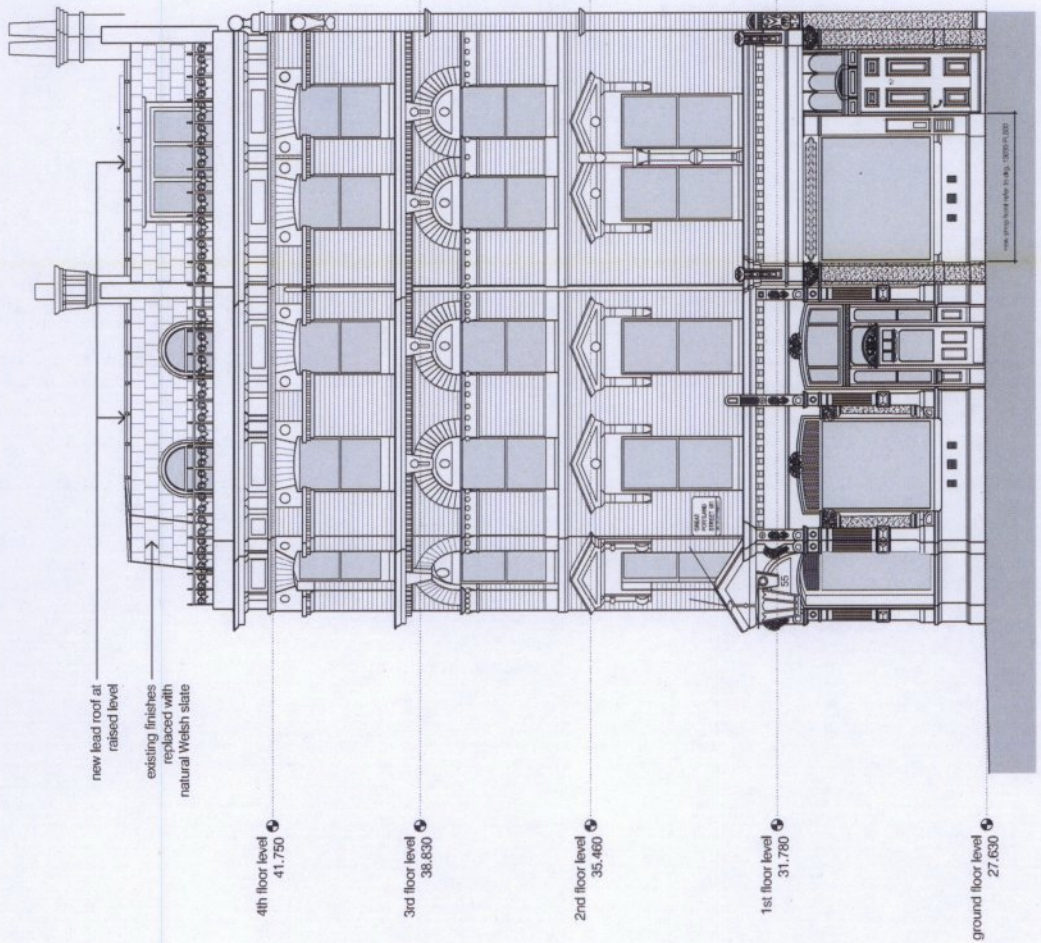


Existing front elevation to Great Portland Street - fabric removal



Note

Windows to front facade retained and refurbished including re-glazing in single acoustic glass. Secondary glazing fitted to all windows. Windows to rear facade to be replaced and to be incapable of readjustment they will be replaced with new painted finish, sliding sash, single glazed windows.



MORTIMER STREET No. 57 GREAT PORTLAND STREET No. 57 GREAT PORTLAND STREET

Rev	Date	Description	By	Chk
C	16.07.15	Revised for planning submission	JR	JB
B	22.12.14	Planning issue	JR	JB
A	12.12.14	Draw planning issue	JR	JB
-	02.04.14	Prepared for circulation issue	SB	JB

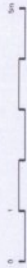
Project No. 130300

PL 271 C 55 - 57 Great Portland Street
Proposed Great Portland Street front elevation
1:50 @ A1 / 1:100 @ A3

Proposed front elevation to Great Portland Street

M&M Architects Ltd. The Old School, Fife Street
LONDON, SE 1, U.K. T +44 (0)20 7626 6767
©2015. All rights reserved. www.mmm-architects.co.uk

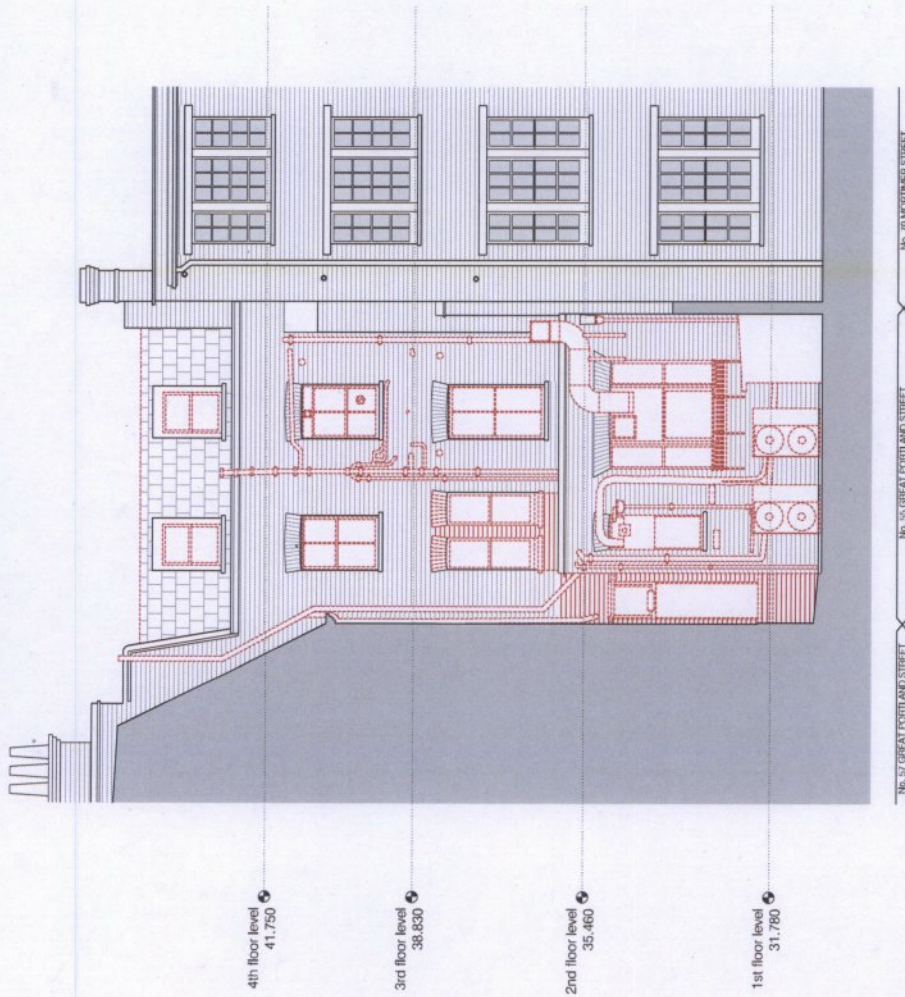




KEY
 Fabric removal

GENERAL NOTES

- All roof finishes to be removed for replacement



4th floor level
41.750

3rd floor level
38.830

2nd floor level
35.460

1st floor level
31.780

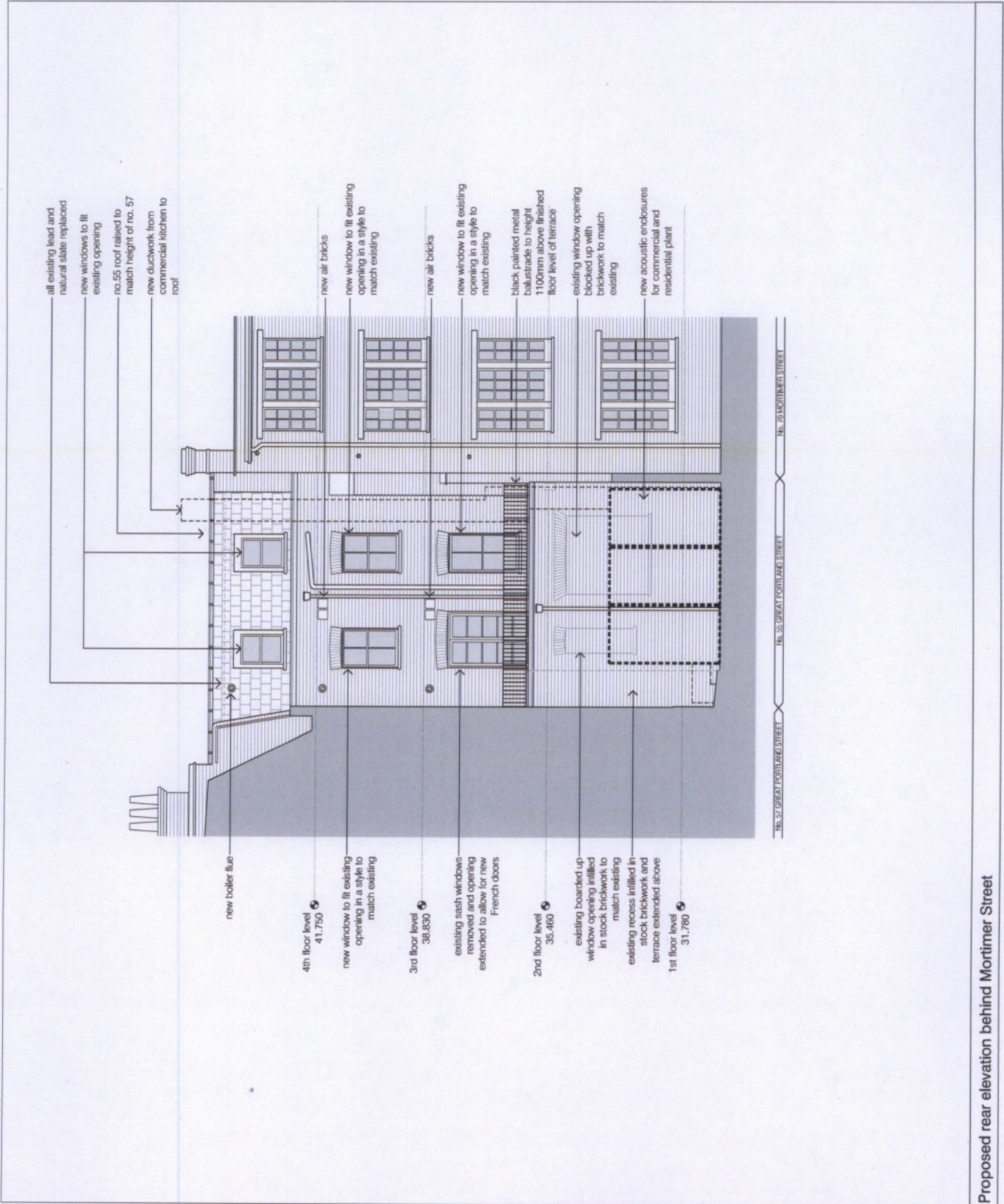
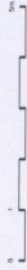
NO. 57 GREAT PORTLAND STREET NO. 59 GREAT PORTLAND STREET NO. 70 MORTIMER STREET

NO.	DATE	DESCRIPTION	BY	CHKD.
B	18/07/20	Revised for drawing submission	Mr	Dr
A	20/02/18	Preparation	Mr	Dr
-	12/02/18	Draw preparation	Dr	Dr

130000
PL 172 B
 55 - 57 Great Portland Street
 Ex. Mortimer St rear elevation - fabric removal
 1:50 @ A1 / 1:100 @ A3

m-s-m
 M&M ARCHITECTS LTD, The Old School, Great Street, London, W1P 3AA
 02075 930000 www.m-s-m.co.uk

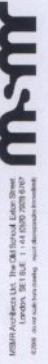
Existing rear elevation behind Mortimer Street - fabric removal

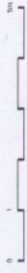


Rev	Date	Description	By	Chk
B	18.07.15	Revised for planning submission	BR	PL
A	20.12.14	Prework phase	BR	PL
-	12.12.14	Client planning phase	PL	BR

No. 57
 13000
PL 272 B
 55 - 57 Great Portland Street
 Proposed Mortimer Street rear elevation
 1:50 @ A1 / 1:100 @ A3

Proposed rear elevation behind Mortimer Street





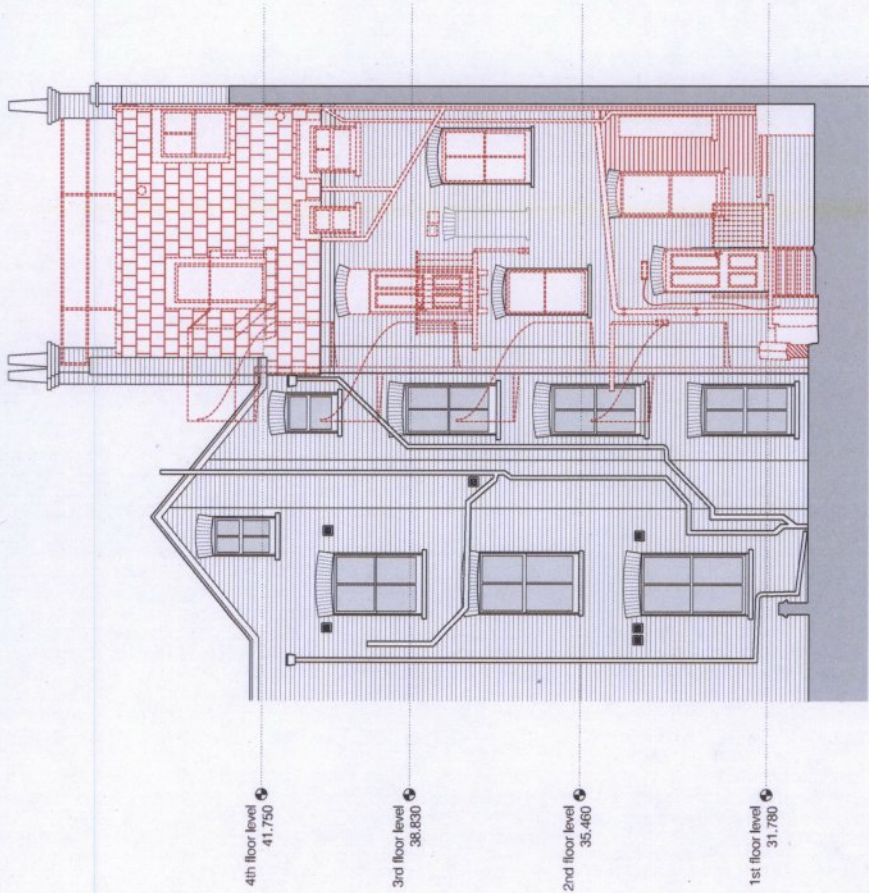
KEY



Fabric removal

GENERAL NOTES

- All roof finishes to be removed for replacement



NO. 57 GREAT PORTLAND STREET

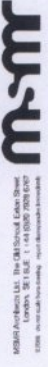
NO. 57 GREAT PORTLAND STREET

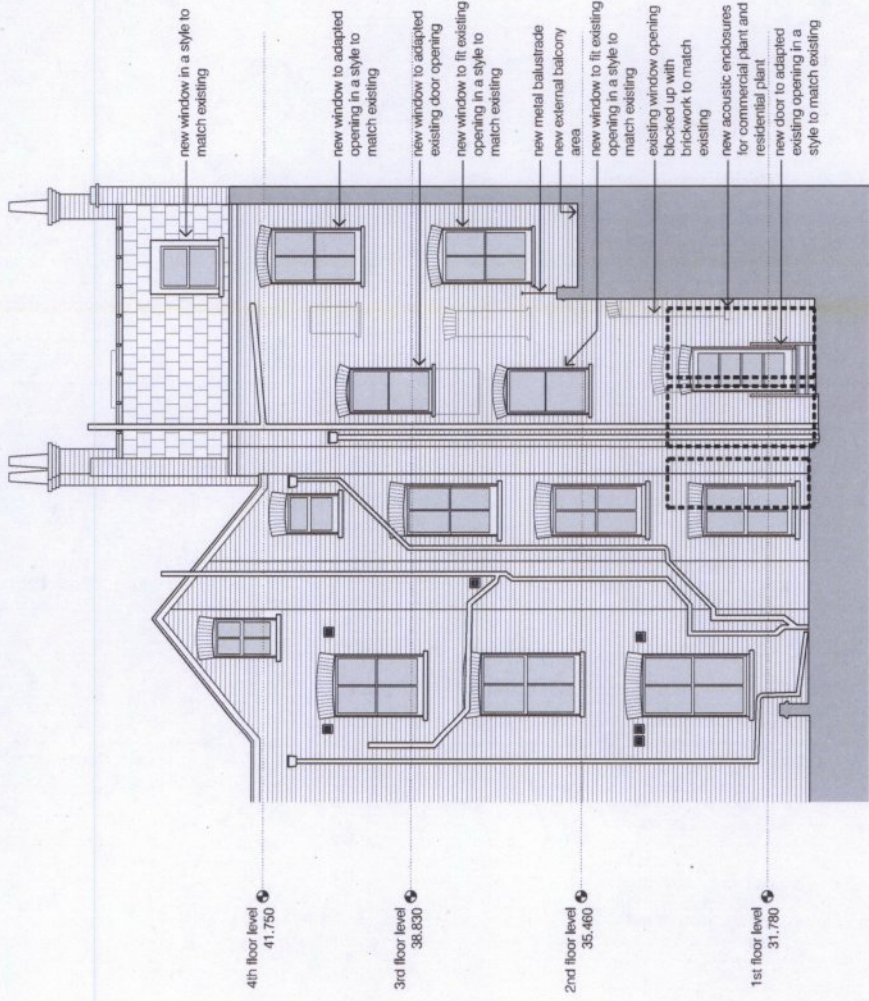
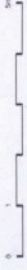
B	16.07.15	Revised for drawing submission	Dr	Dr
A	20.12.14	Plan release	Dr	Dr
	12.12.14	Draw preparation	Dr	Dr
			Dr	Dr

130000

PL 173 B
 55 - 57 Great Portland Street
 Ex. Great Portland St rear elevation - fabric removal
 1:50 @ A1 / 1:100 @ A3

Existing rear elevation behind Great Portland Street - fabric removal





REV	DATE	DESCRIPTION	BY	CHK	APP
B	16.07.15	Revised for planning submission			
A	22.12.14	Planning issue			
C	12.12.14	Door planning issue			

No. 57
PL 273 B
 13030
 55 - 57 Great Portland Street
 Proposed Great Portland Street rear elevation
 1:50 @ A1 / 1:100 @ A3

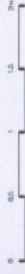
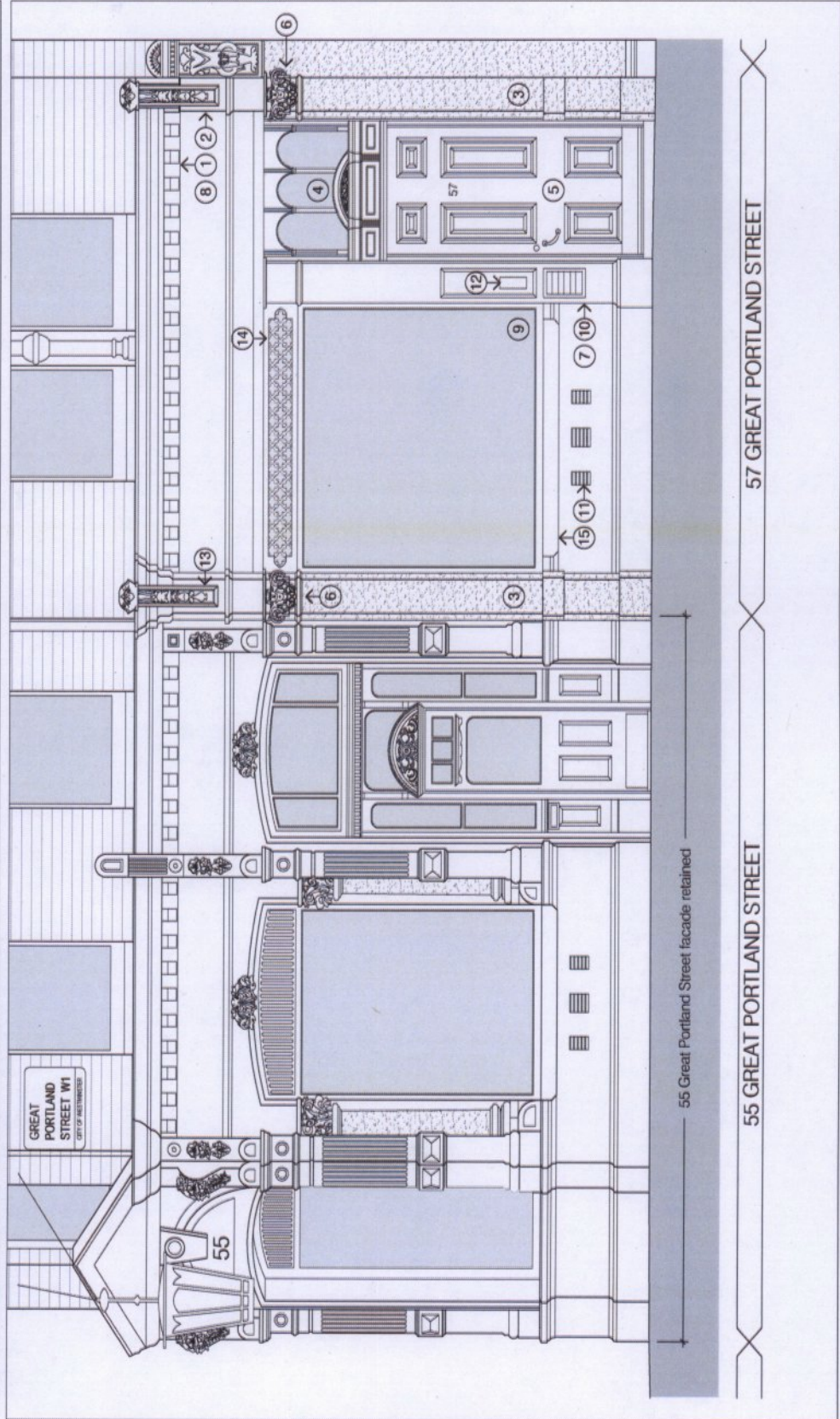
M&M Architects Ltd. The Old School, Exeter Street
 Exeter, Devon EX1 1AA
 01392 822222
 www.mmm-architects.co.uk

Proposed rear elevation behind Great Portland Street





Existing photographs of 55-57 Great Portland Street street scene



KEY

- 1 existing cornice and details retained
- 2 existing cornices retained
- 3 existing granite cladding retained
- 4 existing palette iron frame height retained
- 5 existing palette iron frame residential door retained
- 6 existing capital retained
- 7 new painted handwood timber stabiliser
- 8 existing signage removed and existing palette iron brackets underneath retained and metal goods
- 9 new laminated glazing
- 10 new residential balconies
- 11 new ventilation grilles
- 12 new residential door entry system
- 13 cobbed cast-iron
- 14 new grille
- 15 new brass call

1:20	1:20	1:20	1:20
1:20	1:20	1:20	1:20
1:20	1:20	1:20	1:20
1:20	1:20	1:20	1:20
1:20	1:20	1:20	1:20
1:20	1:20	1:20	1:20

PL 500 B
 55 - 57 Great Portland Street
 Proposed shop front elevation
 1:20 @ A1 / 1:40 @ A3

